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## APPENDIX A. SCOPE OF WORK

## Proposal for Archaeological Survey

February 3, 2012

Submitted to:

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[JHenry@grwinc.com](mailto:JHenry@grwinc.com)

### Project Identification

Sanitation District No. 1 of Northern Kentucky  
Ash Street Pump Station and Force Main and Silver Grove Pump Stations and Force Main  
CIP No. C-414-46 & C-414-48

### Project Background

In November 2010 and May 2011, Cultural Resource Analysts, Inc. (CRA) completed a cultural resource survey of the proposed corridor for the Ash Street pump station and force main and Silver Grove force main project in Campbell County, Kentucky. The project area began at an existing pump station adjacent to Mary Ingles Highway in Silver Grove, Kentucky, encompassed the location of the proposed new pump station on Ash Street, and continued south-southeast, paralleling Four Mile Road through the community of Camp Springs to the existing Riley Road Pump Station northeast of the community of Alexandria. The proposed project area consisted of approximately 32 ha (79 acres). No archaeological sites were documented as a result of this survey.

Modifications to the route were made subsequent to this survey and other routes and underground pump stations were added to complete the engineering design of the project. The following scope takes these changes into consideration to complete the archaeological survey. The archaeological survey only pertains to the direct area of potential effect (APE) for the force mains and pump stations, including the construction areas and right-of-way limits; both permanent and temporary.

### *Project Area to be Studied*

Through consultation with KHC, the U.S. Army Corps of Engineers (USACE), and the Kentucky Division of Water, it has been determined that survey of the previously unsurveyed portions of the archaeological APE is required in order to adequately assess these potential effects to archaeological properties if present. The proposed area consists of approximately 6.33 ha (15.64 acres) or 6,034 linear m (19,800 linear ft) of previously unsurveyed areas along an approximately 11,430 linear m (37,500 linear ft) right-of-way.

### Scope of Services

The archaeological survey will be conducted in accordance with current *Specifications for Conducting Fieldwork and Preparing Cultural Resource Assessment Reports* issued by the Kentucky State Historic Preservation Office and the previous Phase I CRA report will be revised to incorporate the results of this survey.

### *File Search/Archival Research/APE*

As requested by the SHPO, a new review of the archaeological site files at the Office of State Archeology (SHPO) will be conducted for the proposed project area plus a two km buffer.

### *Field Research*

The field investigation will consist of an intensive survey of the unsurveyed portions of the proposed project area following standard archaeological methods (i.e., pedestrian and shovel test survey). The portions of the project area that cross terrain with good surface visibility (for example plowed/cultivated fields or strip plowed fields) or characterized by steep slopes (creek bank) will be subject to pedestrian survey. This entails a walking, visual inspection of the ground surface to identify historic and prehistoric artifacts. Portions of the project that are located on relatively flat terrain with poor surface visibility will have to be shovel tested. This assessment method requires the excavation of screened shovel tests measuring 35 cm in diameter at intervals of 20 m. The phase I investigation will survey only the undisturbed ground within the project area (i.e., areas outside the existing construction rights-of-way). All archaeological sites discovered within the intensive survey area will be recorded following current SHPO specifications. Limited bucket augering may be conducted on alluvial landforms to determine the nature and extent of Holocene alluvium and the potential for the presence of significant deeply buried archaeological sites.

### *Report*

The report for the previous survey will be revised and updated with the results of this field research. The report will conform to Kentucky SHPO specifications. The report will describe all archaeological resources located during the study and make recommendations for their treatment in relation to potential impacts. In addition, site survey forms will be prepared for each archaeological site recorded and submitted to OSA.

### *Deliverables*

Eight copies of the report will be submitted to GRW, including 6 copies for agency reviews. CRA will also provide one copy of the report on CD in pdf format. CRA will make any necessary revisions to the report requested by the reviewing agencies.

### *Schedule*

We can initiate the study within 2 days of NTP. The records review will require 7-10 days to complete. The field research to follow will take 2-3 business days. The report of the study can be submitted GRW within 15-25 working days of the completion of the fieldwork, depending on the field survey results.

## **To Be Provided By Client**

The Client will provide CRA the following:

1. Project description
2. The name of the permitting or funding agency
3. Permitting or funding agency identification number
4. Project mapping in electronic format (Autocad, Microstation, or Arch View shape files). If electronic mapping is not provided additional fees will be accrued on a time and materials basis.

FOR Cultural Resource Analysts:



Signed: \_\_\_\_\_

Name: Steven D. Creasman, RPA

Position: Executive Vice President

Proposal Accepted by:

Signed: \_\_\_\_\_

Name:

Position:

## APPENDIX B. HISTORIC MATERIALS

Table B-1. Historic Materials Database.

Bag	Site	Unit #	Dep	Cat #	Group	Class Definition	Type Definition	Attr 1a	Attr 1c	Attr 2a	N	Wt	Vessel Part	Vessel Type	MinDate	MaxDate
1	15Cp87	GSC 1	- Surface	1	D	Ceramics	Ironstone	Chromatic glaze	Green		1		Footring/base	Saucer	1930	1970
1	15Cp87	GSC 1	- Surface	2	D	Ceramics	Late Majolica				1				1880	1940
1	15Cp87	GSC 1	- Surface	3	D	Ceramics	Stoneware	Bristol slipped exterior		Bristol slipped interior	1		Rim		1880	1925
1	15Cp87	GSC 1	- Surface	3	D	Ceramics	Stoneware	Bristol slipped exterior		Bristol slipped interior	1		Body		1880	1925
1	15Cp87	GSC 1	- Surface	4	D	Container Closures	Home Canning Jars	Liner for Mason zinc: flat			1				1869	1950
1	15Cp87	GSC 1	- Surface	5	A	Flat Glass	Plate Glass	Flat glass			1				1917	
1	15Cp87	GSC 1	- Surface	6	M	Fuels	Coal				3	2.5				
2	15Cp87	GSC 2	- Surface	7	D	Ceramics	Stoneware	Bristol slipped exterior		Bristol slipped interior	1		Rim		1880	1925
2	15Cp87	GSC 2	- Surface	8	D	Container Closures	Home Canning Jars	Liner for Mason zinc: flat			1				1869	1950
2	15Cp87	GSC 2	- Surface	9	D	Container Closures	Commercial Containers	Threaded: iron / steel			1				1900	
2	15Cp87	GSC 2	- Surface	10	M	Fuels	Coal				1	4.1				
2	15Cp87	GSC 2	- Surface	11	M	Fuels	Cinder / Slag				1	23.5				
3	15Cp87	GSC 3	- Surface	12	D	Ceramics	Ironstone	Molded / Embossed			1		Base		1860	
3	15Cp87	GSC 3	- Surface	13	D	Ceramics	Porcelain: hard paste	Handpainted (late colors)			1		Rim		1880	1940
3	15Cp87	GSC 3	- Surface	14	A	Construction Material	Brick	Handmade brick:non-vit			1	445.9				

# CULTURAL HISTORIC BASELINE SURVEY FOR THE PROPOSED ASH STREET PUMP STATION AND FORCE MAIN PROJECT IN CAMPBELL COUNTY, KENTUCKY



by  
*Matthew D. McMahan and  
Elizabeth G. Heavrin*

With contributions by  
*Holly B. Higgins, S. Alan Higgins,  
Sarah J. Reynolds, and Trent Spurlock*

Prepared for



**Engineers • Architects • Planners**

and



Prepared by



Kentucky | West Virginia | Ohio  
Wyoming | Illinois | Indiana | Louisiana | Tennessee  
New Mexico | Virginia | Colorado

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By

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Principal Investigator

May 9, 2012

# ABSTRACT

In February and March of 2012, Cultural Resource Analysts, Inc., personnel completed a cultural historic baseline survey for the proposed Ash Street pump station and force main project in Campbell County, Kentucky. The survey was conducted at the request of Joe Henry of GRW Engineers, Inc., on behalf of Sanitation District No. 1 of Northern Kentucky.

The project area begins at an existing pump station adjacent to Mary Ingles Highway in Silver Grove, Kentucky; encompasses three alternate locations for the proposed new pump station near Ash Street; and continues south-southeast, paralleling Four Mile Road through the community of Camp Springs to the existing Riley Road pump station northeast of the community of Alexandria. Although the majority of the project, excluding the Ash Street pump station, will be located below ground, local consulting parties and the Kentucky Heritage Council have identified several potential direct and indirect effects of the proposed project to the cultural historic resources of Silver Grove and Camp Springs. Thus, through consultation with the Kentucky Heritage Council and the United States Army Corps of Engineers, the area of potential effect for the cultural historic survey was defined as a 200 ft corridor, 100 ft to either side of the centerline of the proposed force main, and a 500 ft radius buffer surrounding the proposed pump station sites in Silver Grove. If any portion of a property fell within the area of potential effect, it was recorded in its entirety.

Prior to initiating fieldwork, Cultural Resource Analysts, Inc., initiated a review of records maintained by the Kentucky Heritage Council (State Historic Preservation Office) in order to identify previously recorded cultural historic resources within the area of potential effect. Global information system data provided by the Kentucky Heritage Council indicated that 11 such resources were located within the area of potential effect, including 1 previously surveyed property in Silver Grove (Site 16 [CP 94, the Dutle Inn]) and 10 properties in Camp Springs that are listed in the National Register of Historic Places as part of the German Settlement, Four Mile Creek Area Thematic Resource nomination (Site 95 [CP 72, John Weber Farm], Site 98 [CP 71, Camp Springs House], Site 117 [CP 61, Blau's Four Mile House], Site 119 [CP 91, Leick House], Site 121 [CP 60, Reitman's St. Joseph House], Site 122 [CP 62, St. Joseph's Catholic Church and Cemetery], Site 128 [CP 52, Baumann House], Site 130 [CP 81, Gubser-Schuchter Farm], Site 131 [CP 92, Andrew Ritter Farm], and Site 132 [CP 51, Ort-Heeb Farm]).

During the field survey, Cultural Resource Analysts, Inc., personnel identified a total of 133 cultural historic sites within the area of potential effect, including the 11 previously surveyed properties listed above and 122 previously undocumented properties (Sites 1–15 [CP 204–218], Sites 17–94 [CP 220–297], Sites 96–97 [CP 298–299], Sites 99–116 [CP 300–317], Site 118 [CP 318], Site 120 [CP 319], Sites 123–127 [CP 320–324], Site 129 [CP 325], and Site 133 [CP 326]). To facilitate efficient assessment of common property types and potential historic districts, several of the previously undocumented properties were documented and evaluated as groups, including 41 resources in Silver Grove (Sites 18–32, 34, 36–42, 44–53, 56–62, and 64), 10 American Small Houses on Four Mile Road (Sites 68, 77, 79, 85, 86, 94, 102, 105, 124, and 125), and 12 Ranch houses on Four Mile Road (Sites 80, 81, 87–93, 97, 99, and 108).

Cultural Resource Analysts, Inc., recommends that the Dutle Inn (Site 16 [CP 94]) and all of the previously undocumented properties (Sites 1–15 [CP 204–218], Sites 17–94 [CP 220–297], Sites 96–97 [CP 298–299], Sites 99–116 [CP 300–317], Site 118 [CP 318], Site 120 [CP 319], Sites 123–127 [CP 320–324], Site 129 [CP 325], and Site 133 [CP 326]) are ineligible for listing in the National Register of Historic Places under Criterion A, B, or C, both individually and as part of a potential historic district. In addition, Site 119 (CP 9) has undergone major unsympathetic alterations since the time of its listing in the National Register of Historic Places and no longer retains sufficient integrity to convey its historical significance as a German settlement property in the Camp Springs area. The

nine other National Register-listed properties (Site 95 [CP 72], Site 98 [CP 71], Site 117 [CP 61], Site 121 [CP 60], Site 122 [CP 62], Site 128 [CP 52], Site 130 [CP 81], Site 131 [CP 92], and Site 132 [CP 51]) remain eligible for listing as part of the German Settlement, Four Mile Creek Area Thematic Resource nomination.

The proposed project will not directly impact any of the contributing features associated with these National Register-listed sites, and it appears that GRW Engineers, Inc., and Sanitation District No. 1 have taken sufficient measures to minimize the project's potential effects to these historic properties, including those effects related to construction noise, odor caused by air release valves, damage to fragile mortar joints caused by construction activities, tree removal, and potential system failure. Also, in addition to prohibiting blasting within 200 ft of listed structures, Sanitation District No. 1 has committed to seismographic monitoring at the National Register-listed sites when blasting or mechanical rock excavation occurs near the site to ensure that there are no construction-related damages to the historic buildings. Assuming that the steps outlined are implemented to minimize effects on historic properties, CRA recommends a No Adverse Effect determination for this project.

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# I. PURPOSE OF REPORT

In February and March of 2012, Cultural Resource Analysts, Inc. (CRA), personnel completed a cultural historic baseline survey for the proposed Ash Street pump station and force main project in Campbell County, Kentucky (Figure 1). The survey was conducted at the request of Joe Henry of GRW Engineers, Inc. (GRW), on behalf of Sanitation District No. 1 of Northern Kentucky (SD1).

The purpose of the survey was to:

- 1) identify and document all cultural historic sites (aboveground resources 50 years of age or older) located within the area of potential effect (APE);
- 2) evaluate their eligibility for listing in the National Register of Historic Places (NRHP) and recommend boundaries, if eligible; and
- 3) evaluate the effect of the project on any properties included in, or eligible for listing in, the NRHP.

The purpose of the project is to construct a pump station and force main to eliminate up to 25.6 million gallons per year of sewage from spilling into the Ohio River as a result of

combined sewer overflows in the city of Silver Grove. The project area begins at an existing pump station adjacent to Mary Ingles Highway in Silver Grove, Kentucky; encompasses three alternate locations for the proposed new pump station near Ash Street; and continues south-southeast, paralleling Four Mile Road through the community of Camp Springs to the existing Riley Road pump station northeast of the community of Alexandria. Although the majority of the project, excluding the Ash Street pump station, will be located below ground, local consulting parties and the Kentucky Heritage Council (KHC) have identified several potential direct and indirect effects of the proposed project to the cultural historic resources of Silver Grove and Camp Springs. Thus, through consultation with the KHC and the U.S. Army Corps of Engineers (USACE), the APE for the cultural historic survey was defined as a 200 ft corridor, 100 ft to either side of the centerline of the proposed force main, and a 500 ft radius buffer surrounding the proposed pump station sites in Silver Grove (Figures 2a–2b and 3a–3c). If any portion of a property fell within the APE, it was recorded in its entirety.

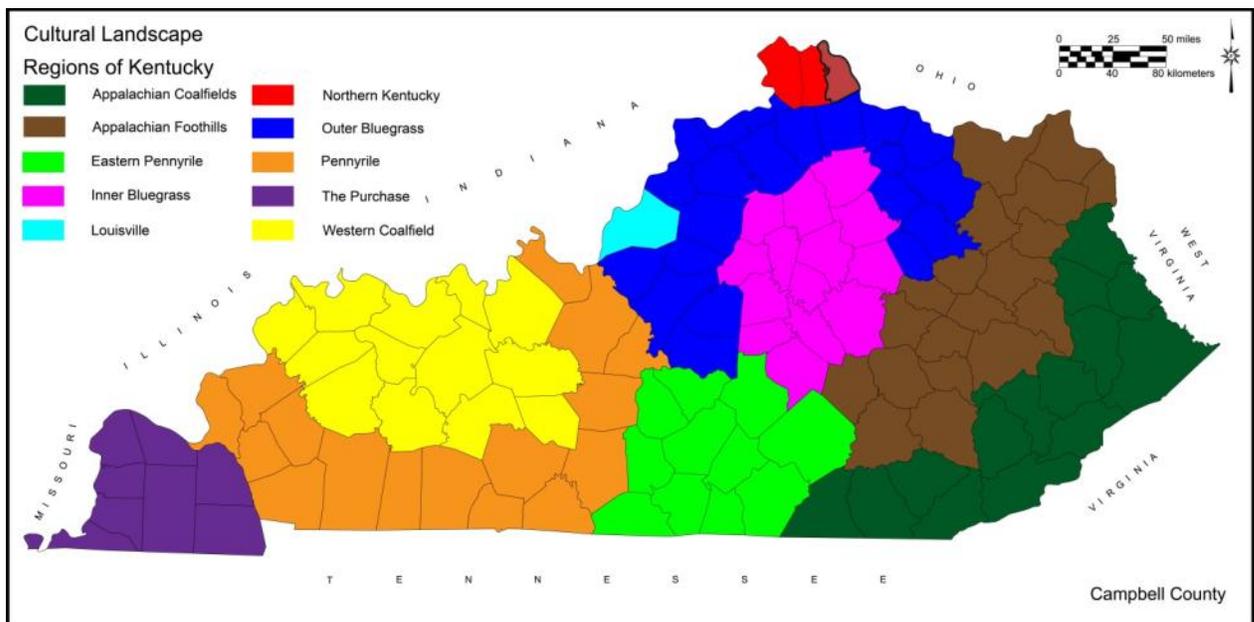


Figure 1. Map of Kentucky showing the location of Campbell County.

The survey was conducted to comply with federal regulations concerning the impact of federal actions on sites and structures listed in, or eligible for nomination to, the NRHP. These regulations include Section 106 of the National Historic Preservation Act of 1966 and the regulations published in the Code of Federal Regulations at 36 CFR Part 800. This project requires a Section 404 permit under the Clean Water Act from the USACE and is therefore considered an undertaking subject to Section 106 review.

The following report is a summary of the survey findings. Matthew McMahan and George Seidelman of CRA completed the fieldwork described herein between February 20 and March 2, 2012. Fieldwork for the cultural historic survey was completed in 120 personnel hours. Weather conditions were generally cool and overcast. The owners of the NRHP-listed Andrew Ritter Farm (Site 131 [CP 92]) denied CRA personnel permission to document the property. No other restrictions or limitations were placed on the survey effort other than the inability to access the interior of some barns.

Eleven previously recorded properties—including 10 properties listed in the German Settlement, Four Mile Creek Area Thematic Resource (TR) NRHP nomination (Site 95 [CP 72], Site 98 [CP 71], Site 117 [CP 61], 119 [CP 91], Site 121 [CP 60], Site 122 [CP 62], Site 128 [CP 52], Site 130 [CP 81], Site 131 [CP 92], and Site 132 [CP 51]) and 1 property of undetermined NRHP status (Site 16 [CP 94])—and 122 previously undocumented properties (Sites 1–15 [CP 204–218], Sites 17–94 [CP 220–297], Sites 96–97 [CP 298–299], Sites 99–116 [CP 300–317], Site 118 [CP 318], Site 120 [CP 319], Sites 123–127 [CP 320–324], Site 129 [CP 325], and Site 133 [CP 326]) were identified during the field survey. To facilitate efficient assessment of common property types and potential historic districts, several of the previously undocumented properties were documented and evaluated as groups, including 41 resources in Silver Grove (Sites 18–32, 34, 36–42, 44–53, 56–62, and 64), 10 American Small Houses on Four Mile Road

(Sites 68, 77, 79, 85, 86, 94, 102, 105, 124, and 125), and 12 Ranch houses on Four Mile Road (Sites 80, 81, 87–93, 97, 99, and 108). CRA recommends that the Dutle Inn (Site 16 [CP 94]) and all of the previously undocumented properties (Sites 1–15 [CP 204–218], Sites 17–94 [CP 220–297], Sites 96–97 [CP 298–299], Sites 99–116 [CP 300–317], Site 118 [CP 318], Site 120 [CP 319], Sites 123–127 [CP 320–324], Site 129 [CP 325], and Site 133 [CP 326]) are ineligible for listing in the NRHP under Criterion A, B, or C, both individually and as part of a potential historic district. In addition, Site 119 (CP 91) has undergone major unsympathetic alterations since the time of its listing in the NRHP and no longer retains sufficient integrity to convey its historical significance as a German settlement property in the Camp Springs area. The nine other NRHP-listed properties (Site 95 [CP 72], Site 98 [CP 71], Site 117 [CP 61], Site 121 [CP 60], Site 122 [CP 62], Site 128 [CP 52], Site 130 [CP 81], Site 131 [CP 92], and Site 132 [CP 51]) remain eligible for listing as part of the German Settlement, Four Mile Creek Area TR.

The proposed project will not directly impact any of the contributing features associated with these NRHP-listed sites, and, as described in the following sections, it appears that GRW and SD1 have taken sufficient measures to minimize the project's potential effects to these historic properties, including those effects related to construction noise, odor caused by air release valves, damage to fragile mortar joints caused by construction activities, tree removal, and potential system failure. Also, in addition to prohibiting blasting within 200 ft of listed structures, SD1 has committed to seismographic monitoring at the NRHP-listed sites when blasting or mechanical rock excavation occurs near the site to ensure that there are no construction-related damages to the historic buildings. Assuming that the steps outlined are implemented to minimize effects on historic properties, CRA recommends a No Adverse Effect determination for this project.

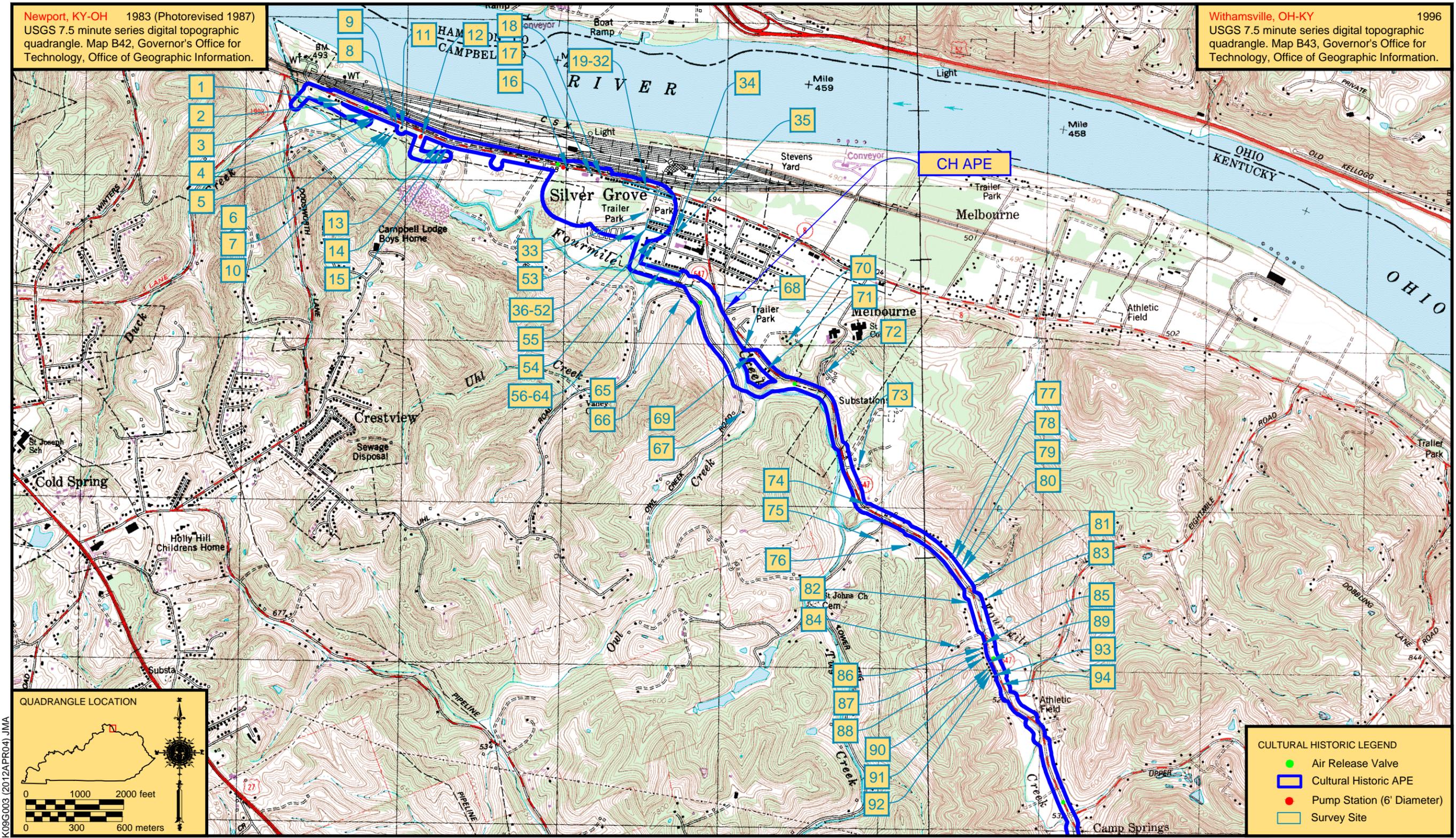


Figure 2a. Topographic map depicting the locations of Sites 1-94 within the APE.

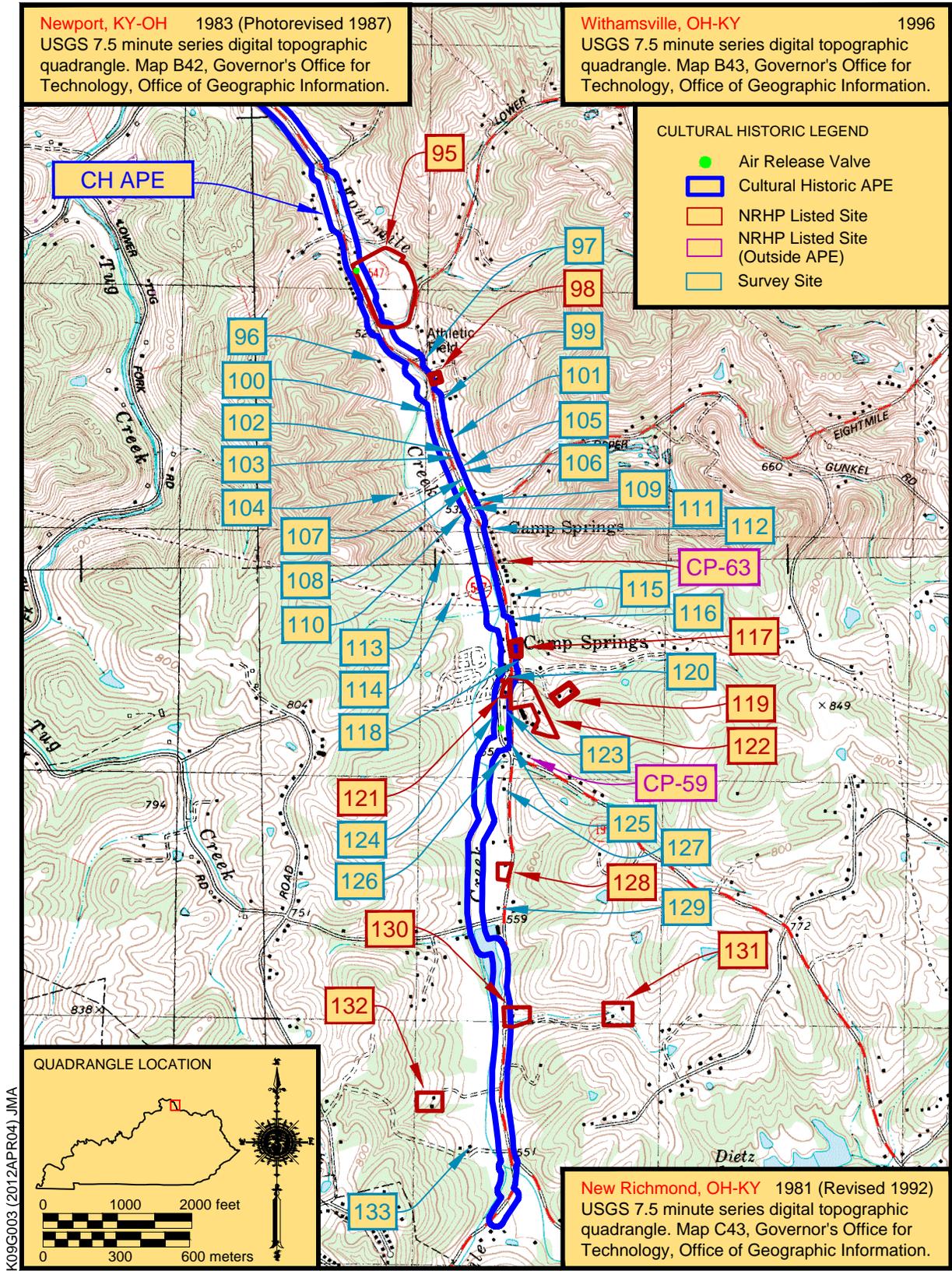


Figure 2b. Topographic map depicting the locations of Sites 95-133 within the APE.

## II. PROJECT DESCRIPTION

The purpose of the project is to construct a pump station and force main to eliminate up to 25.6 million gallons per year of sewage from spilling into the Ohio River as a result of combined sewer overflows in the city of Silver Grove. The project area begins at an existing pump station adjacent to Mary Ingles Highway in Silver Grove, Kentucky; encompasses three alternate locations for the proposed new pump station near Ash Street; and continues south-southeast, paralleling Four Mile Road through the community of Camp Springs to the existing Riley Road pump station northeast of the community of Alexandria. These improvements are related to compliance with a Federal Consent Decree to adhere to mitigation requirements related to sanitary and combined sewer overflows in SD1's wastewater collection system.

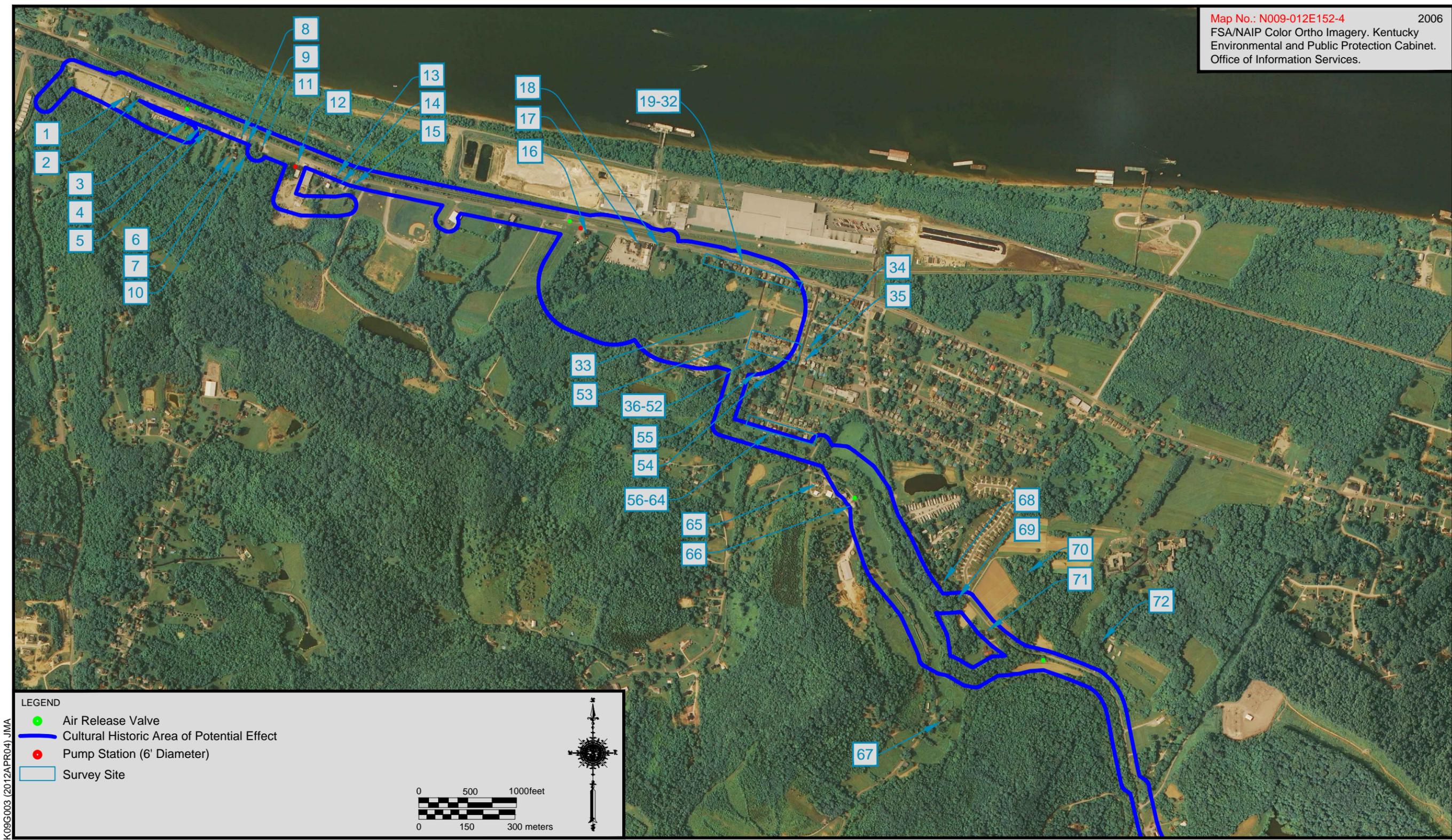
The pump station near Ash Street will be a 65 ft x 68 ft L-shaped building rising 31 ft above ground level (see rendering in Appendix B). The exterior will feature masonry block construction and a 4/12 or 5/12 pitched shingle roof. One of the proposed pump station sites includes an abandoned Works Progress Administration (WPA) pumping station, described in this report as Site 33 (CP 236). The City of Silver Grove has deeded this property to SD1 with the agreement that the structure be demolished. The other two pump station sites under consideration do not contain any aboveground structures. Potential indirect effects associated with the pump station include odor, noise, and visual effects of the building itself and its lighting. GRW and SD1 have taken several steps to minimize these effects through the use of specialized odor control systems and through the structure's design, as described in detail in Appendix A.

In addition to the main pump station site, the project will include the installation of two small pump stations to service individual properties along Mary Ingles Highway (see Figures 2a and 3a). The only aboveground component of these structures will be their associated control panels. Each will feature two large manholes: a 6 ft diameter hole for the wet well and a 4 ft diameter hole for the valve vault (see diagram in Appendix

B). The effects of each of these structures on aboveground resources will be minimal.

The potential effects of the force main include construction noise, odors associated with the project's six air release valves (see Figures 2a–2b and 3a–3c), damage to fragile mortar joints of historic buildings caused by construction activities, tree removal and other direct impacts within NRHP property boundaries, and potential force main system failure. GRW and SD1 have taken several steps to minimize these effects. In all cases, the force main is located on the opposite side of the street from the NRHP-listed buildings or at a significant distance from the NRHP boundaries. Construction and blasting activities will comply with all applicable local and state ordinances to limit the impacts of noise and construction vibrations. No blasting will be conducted within 200 ft of NRHP-listed buildings; blasting peak particle velocities (PPV) will be limited to .25 inches per second, well below the state maximum allowance of 2.0 inches per second; and all NRHP-listed properties will be subject to pre-blast inspections and seismographic monitoring when blasting or mechanical rock excavation occurs near the site to ensure that construction activities do not damage these historic buildings. This consideration will be extended to the two NRHP-listed properties (CP 59 and CP 63, see Figures 2a–2b and 3a–3c) that fall outside of the 100 ft APE but within the immediate vicinity of the proposed project. Should any damage be detected, work will stop immediately and the KHC will be contacted for additional consultation.

In addition, the project has been designed to minimize the potential impacts of odors at air release valves, and additional odor mitigation measures are being implemented to scrub the released air. When tree removal is necessary, trees will be replaced with native trees of significant size. The project design takes all reasonable measures to avoid potential system failure, and a plan is in place to respond to any breaks or leaks promptly to repair the system, clean up any spilled materials, and return the affected area to its original condition. Each of these measures is described in greater detail in Appendix A.



K09G003 (2012APR04) JMA

Figure 3a. Aerial photograph depicting the locations of Sites 1-72 within the APE.

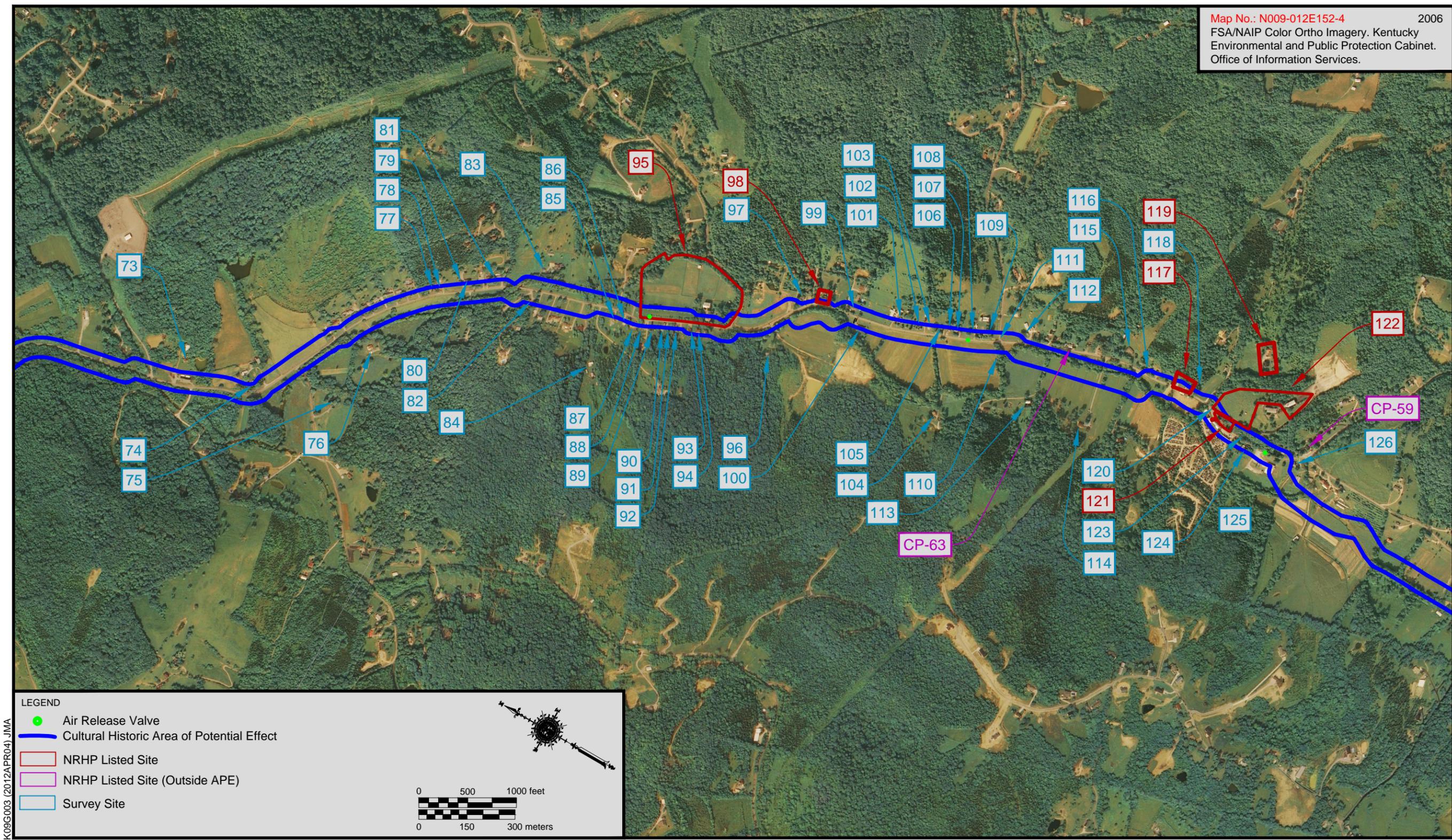


Figure 3b. Aerial photograph depicting the locations of Sites 73-126 within the APE.

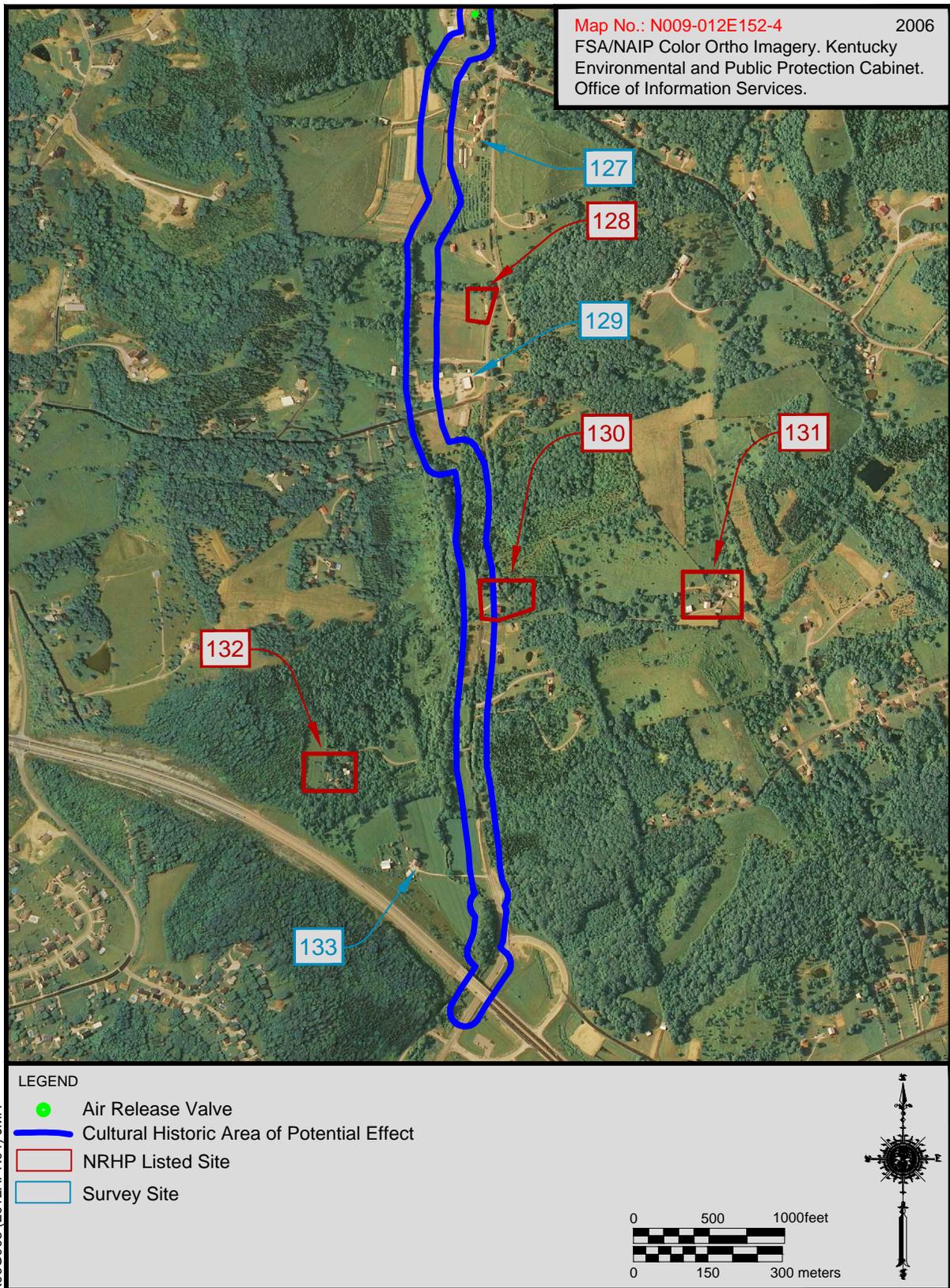


Figure 3c. Aerial photograph depicting the locations of Sites 127-133 within the APE.

Taking into consideration each of these potential effects and after consultation with the KHC and the USACE, the APE for the cultural historic survey was defined as a 200 ft corridor, 100 ft to either side of the centerline of the proposed force main, and a 500 ft radius buffer surrounding the proposed pump station sites in Silver Grove (see Figures 2a–2b and 3a–3c). If any portion of a property fell within the APE, it was recorded in its entirety.

### III. ENVIRONMENTAL SETTING

The project area is located in the eastern portion of Campbell County in the Outer Bluegrass region of Kentucky. The topography of the Outer Bluegrass is characterized by rolling, high-grade limestone uplands that are slightly to moderately dissected. The majority of the project area consisted of floodplains and terraces with a few ridgetop, hillside, and dissected upland settings. Slopes ranged from nearly level to moderate. Elevations within the project area ranged between approximately 530 and 623 ft above mean sea level (AMSL) (see Figures 2a–2b and 3a–3c). The project area lies within the Licking River drainage (McGrain and Currens 1978).

The project area begins at its north end at an existing pump station in the community of Silver Grove, passes at its center through the community of Camp Springs, and terminates at its south end at another existing pump station 1.7 mi northeast of the community of Alexandria. For most of its length, the proposed force main parallels the Mary Ingles Highway and Four Mile Road (KY 547) (see Figures 2a–2b and 3a–3c).

Terrain within the current project area consisted of floodplains and terraces with a few small dissected upland ridges. Elevations ranged between 530 ft AMSL along the Mary Ingles Highway in the northern portion of the project area and approximately 623 ft AMSL

along upland ridges in the southern portion of the project area along Four Mile Road.

The northern portion of the APE is characterized by early- to mid-twentieth-century residential and commercial development along Mary Ingles Highway (Figure 4) and early-twentieth-century residential development in Silver Grove (Figure 5). The southern portion of the APE passes through the Four Mile Creek Valley (Figure 6), a predominantly rural area featuring both nineteenth-century agricultural properties (Figure 7) and twentieth-century residential development (Figure 8). At the valley's center is the Camp Springs settlement, a collection of farmsteads, commercial buildings, and religious properties established by German immigrants in the mid- to late nineteenth century. The historical development of Camp Springs and Silver Grove is summarized in Section V of this report. The Lafarge drywall plant (see Figure 4) now occupies the former site of the Stevens railyard, which was fundamental to the early-twentieth-century development of Silver Grove, and the John Y. Brown, Jr., AA Highway intersects Four Mile Road at the southern terminus of the APE.

### IV. RESEARCH AND SURVEY METHODOLOGY

The survey was conducted in accordance with the “Archaeology and Historic Preservation: Secretary of the Interior’s Standards and Guidelines” (National Park Service [NPS] 1983). In addition, guidelines offered in the following documents were followed: *National Register Bulletin #24 Guidelines for Local Surveys: A Basis for Preservation Planning* (NPS 1985); *Kentucky Historic Resources Survey Manual* (Kentucky Heritage Council, n.d.); and *Specifications for Conducting Fieldwork and Preparing Cultural Resource Assessment Reports* (Sanders 2006).



Figure 4. West-northwesterly overview along Mary Ingles Highway from Ash Street.



Figure 5. Easterly overview of early-twentieth-century residential development along West Fourth Street in Silver Grove.



Figure 6. Easterly overview of Four Mile Creek Valley from Reitman Road.



Figure 7. Northerly overview along Four Mile Road near Gubser-Schuchter Farm (Site 130 [CP 81]).



Figure 8. Northerly overview depicting mid-twentieth-century residential development along Four Mile Road.

Before entering the field, available surveys, reports, studies, maps, and other data pertinent to the project area were identified and reviewed. This task began with an investigation of the records of the KHC (FY12-1192). Geographic information system (GIS) data requested from the KHC indicated that 11 previously documented cultural historic resources were located within the area of potential effect, including 1 previously surveyed property in Silver Grove (Site 16 [CP 94, the Dutle Inn]) and 10 properties in Camp Springs that are listed in the NRHP as part of the German Settlement, Four Mile Creek Area TR (Site 95 [CP 72, John Weber Farm], Site 98 [CP 71, Camp Springs House], Site 117 [CP 61, Blau's Four Mile House], Site 119 [CP 91, Leick House], Site 121 [CP 60, Reitman's St. Joseph House], Site 122 [CP 62, St. Joseph's Catholic Church and Cemetery], Site 128 [CP 52, Baumann House], Site 130 [CP 81, Gubser-Schuchter Farm], Site 131 [CP 92, Andrew Ritter Farm], and Site 132 [CP 51, Ort-Heeb Farm]). Two additional NRHP-listed properties (CP 59 and CP 63) included in the German Settlement, Four Mile Creek Area TR were identified in

the vicinity of the APE during a previous records review (FY10-0749) and are depicted in Figures 2b and 3b (KHC survey and NRHP files).

In 1979, the KHC conducted a survey of historic sites located in Campbell County. All 13 of the aforementioned sites were documented as a result of the survey, though none were evaluated in terms of their eligibility for listing in the NRHP (KHC survey and NRHP files).

In 1983, approximately 30 mid- to late-nineteenth-century properties located in the Camp Springs vicinity were listed in the NRHP as contributing resources included in the German Settlement, Four Mile Creek Area TR. These properties, including Sites 98, 117, 119, 121, 122, 128, and 130–132,

are significant for their historical context within the cultural development of Kentucky and as a manifestation of nineteenth and early twentieth century German settlement...Collectively, the German settlement properties represent a significant deviation from the dominant expressions of material culture in

Northern Kentucky and the Ohio Valley.  
[Gordon 1982:8-1]

These properties are defined by their German vernacular architecture, which is described in Section V of this report. A number of German settlement properties located in the Four Mile vicinity were omitted from the 1983 NRHP nomination due to loss of integrity, and other properties thought to have been established by German immigrants were excluded based on a lack of supporting documentation. In 2007, the John Weber Farm (Site 95) was listed in the NRHP under Criterion A for its association with German ethnic heritage and was added to the group of properties included in the 1983 German Settlement, Four Mile Creek Area TR (Daniels 2007; Gordon 1982:7-4).

In 2010, Mark A. Ramler, a Camp Springs native and Masters of Historic Preservation candidate at the University of Kentucky, published *Preservation and Design Guidelines for the Camp Springs Area of Campbell County* with a matching grant from the National Trust for Historic Preservation. The publication describes, evaluates, and offers guidelines for the preservation of several German settlement properties included in the 1983 German Settlement, Four Mile Creek Area TR, including Sites 95, 98, 117, 119, 121, 122, 128, and 130–132 (Ramler 2010).

In addition to the file search, the archival research included a review of available maps, which were used to help identify potential historic properties within the APE. The following maps were reviewed:

1883 An Atlas of Boone, Kenton and Campbell Counties, Kentucky (Griffing);

1900 East Cincinnati, Ohio–Kentucky, 15-minute series topographic quadrangle (United States Geological Survey [USGS]);

1914 East Cincinnati, Ohio–Kentucky, 15-minute series topographic quadrangle (USGS);

1936 Alexandria, Kentucky-Ohio, 7.5-minute series topographic quadrangle (USGS);

1937 Highway and Transportation Map, Campbell County, Kentucky (Kentucky Department of Highways [KDH]);

1952 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle (USGS);

1952 General Highway Map, Campbell County, Kentucky (Kentucky State Highway Department [KSHD]);

1953a New Richmond, Kentucky–Ohio, 7.5-minute series topographic quadrangle (USGS);

1953b Withamsville, Ohio–Kentucky, 7.5-minute series topographic quadrangle (USGS);

1955 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle (USGS);

1961a Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle (USGS);

1961b (Photorevised 1970 and 1974) Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle (USGS);

1961c Withamsville, Ohio–Kentucky, 7.5-minute series topographic quadrangle (USGS);

1972 New Richmond, Kentucky–Ohio, 7.5-minute series topographic quadrangle (USGS);

1974 Withamsville, Ohio–Kentucky, 7.5-minute series topographic quadrangle (USGS);

1981 New Richmond, Kentucky–Ohio, 7.5-minute series topographic quadrangle (USGS);

1983a Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle (USGS);

1983b Withamsville, Ohio–Kentucky, 7.5-minute series topographic quadrangle (USGS).

The 1883 county atlas depicts Camp Springs at the height of settlement, including buildings associated with or located in the vicinity of Sites 66, 72, 74, 75, 84, 95, 96, 98, 101, 104, 109, 113, 115–119, 121, 122, 127, 128, and 130–133 (Figure 9). The 1900 and 1914 topographic quadrangles illustrate the early development of Silver Grove in the 1910s with the advent of the Stevens railyard (Figures 10 and 11). Later maps depict measured residential development throughout the APE during the mid-twentieth century. The current topographic quadrangles do not depict the Lafarge drywall plant, which is located on the former site of the Stevens railyard, or the AA Highway (see Figures 2a–2b) (Griffing 1883:45, 47, 49; USGS 1900, 1914, 1981, 1983a, 1996).

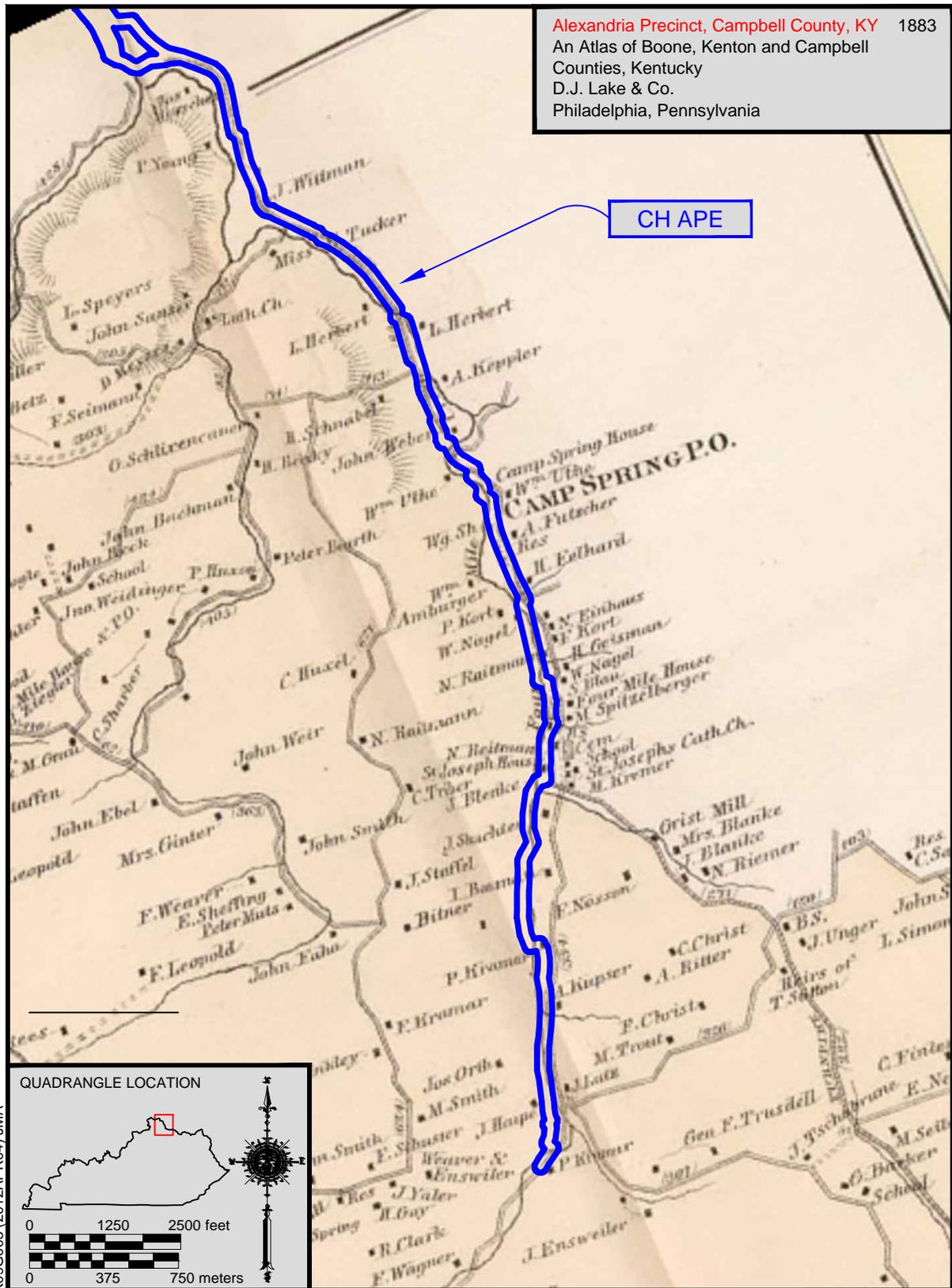


Figure 9. 1883 atlas excerpt depicting southern portion of APE.

Additional documents identified during the archival research are listed in the bibliography. The sources identified during this research were also used to develop Section V of this report.

Following the preliminary archival research, CRA staff conducted a field survey of the APE during which all properties 50 years of age or older were identified. A topographic map and aerial photographs were used to determine the locations of potential historic properties within the APE (see Figure 2a–2b and 3a–3c). Buildings, structures, and other pertinent resources were mapped and photographed, and when appropriate, CRA personnel attempted to obtain owner permission to document and analyze the interiors of outbuildings. Specific instances in which CRA personnel were unable to secure landowner permission to access the interiors of outbuildings are noted in the descriptions of the respective resources.

In addition to documenting individual properties, CRA also considered the potential for historic districts (including rural historic districts) within the APE. While much of the APE—with the exception of Silver Grove—exhibits a rural character, modern development is interspersed throughout the area at-large, land use patterns have changed, and the integrity of extant historical agricultural properties has by and large been compromised, as is further detailed in the individual resource descriptions. As a result, no properties or subareas of the APE conveying the requisite characteristics of a NRHP-eligible rural historic district were identified. In addition, due to the demolition of the associated railroad-related structures that spurred the development of the community, Silver Grove was found to lack the integrity required for consideration as a historic district, as detailed in Section VI of this report.

Ten previously surveyed properties (Sites 16, 95, 98, 117, 119, 121, 122, 128, 130, and 132) and 122 previously unrecorded properties (Sites 1–15, 17–94, 96, 97, 99–116, 118, 120, 123–127, 129, and 133) were identified during the survey. The owners of the NRHP-listed Andrew Ritter Farm (Site 131) denied CRA personnel permission to document the property.

In general, in order for a property to be eligible for listing in the NRHP, it must be at least 50 years old and possess both historic significance and integrity. Significance may be found in three aspects of American history recognized by these National Register criteria:

- A. association with historic events or activities;
- B. association with important persons; or
- C. distinctive design or physical characteristics.

A property must meet at least one of the criteria for listing. Integrity must also be evident through historic qualities, including location, design, setting, materials, workmanship, feeling, and association.

## V. HISTORICAL CONTEXT

In 1776, before Kentucky had attained statehood, the Virginia General Assembly had created Kentucky County from its western lands, and that county would exist more or less within the same boundaries as the current state. This county was divided in 1780 into three counties, Fayette, Lincoln, and Jefferson, which would collectively become the District of Kentucky in 1783 (Hammon 1992:495; Kleber 1992a:267). The Kentucky District would in 1792 disappear in favor of the Commonwealth of Kentucky, and the counties that then comprised this district would over the years be divided and subdivided into the 120 counties that presently make up Kentucky.

Campbell County was created by the Kentucky General Assembly on December 17, 1794, from portions of Harrison, Mason, and Scott Counties and named for Colonel John Campbell, an Irishman who served in the Revolutionary War. Located in northern Kentucky, Campbell County is part of the Bluegrass region cultural landscape. The county covers 394 sq km (152 sq mi) and is bordered by the Ohio River on the north and east, Pendleton County on the south, and Kenton County on the west. The county seat is Alexandria (Bryant 1992:155).

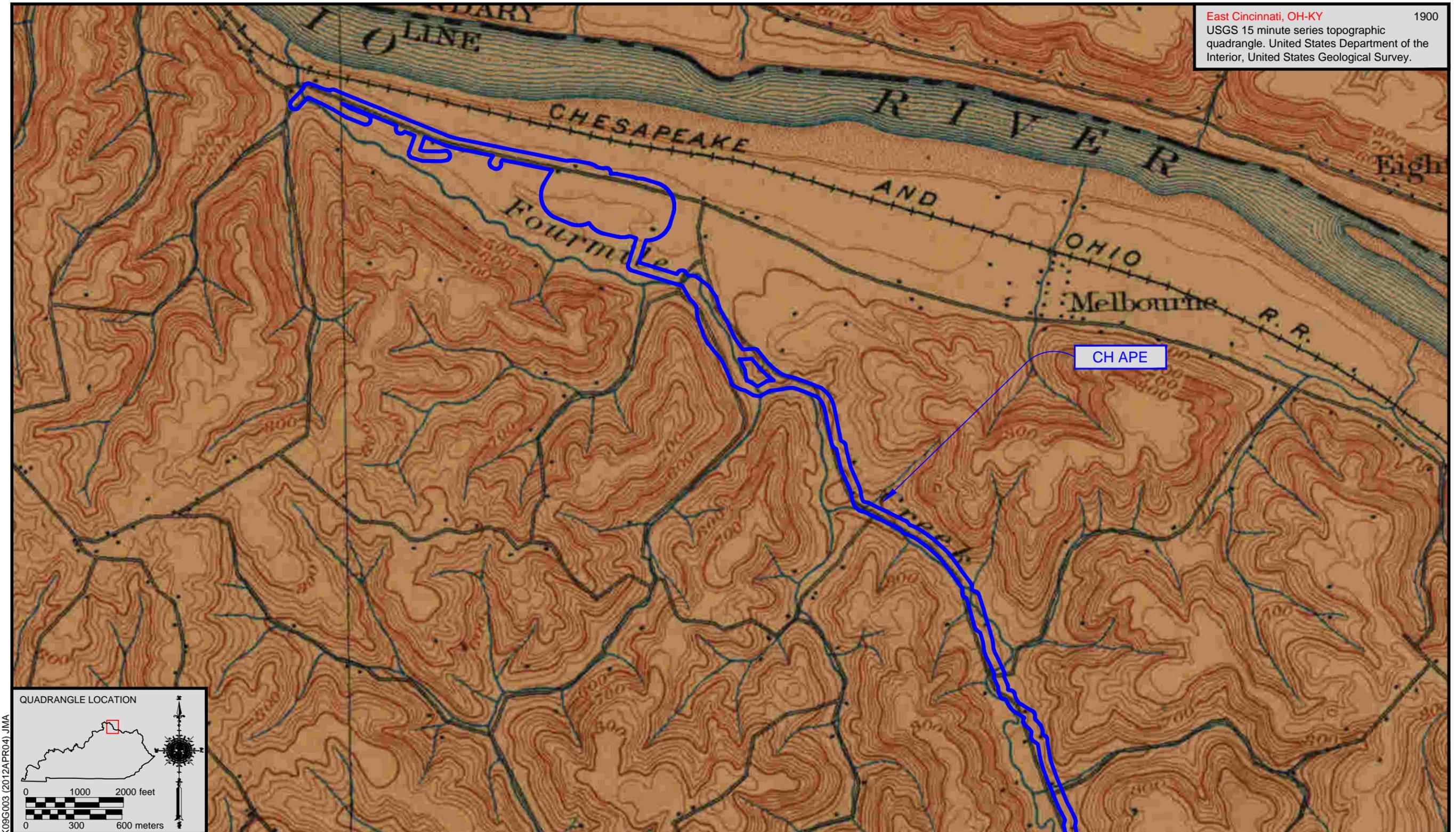


Figure 10. 1900 topographic quadrangle depicting northern portion of APE.

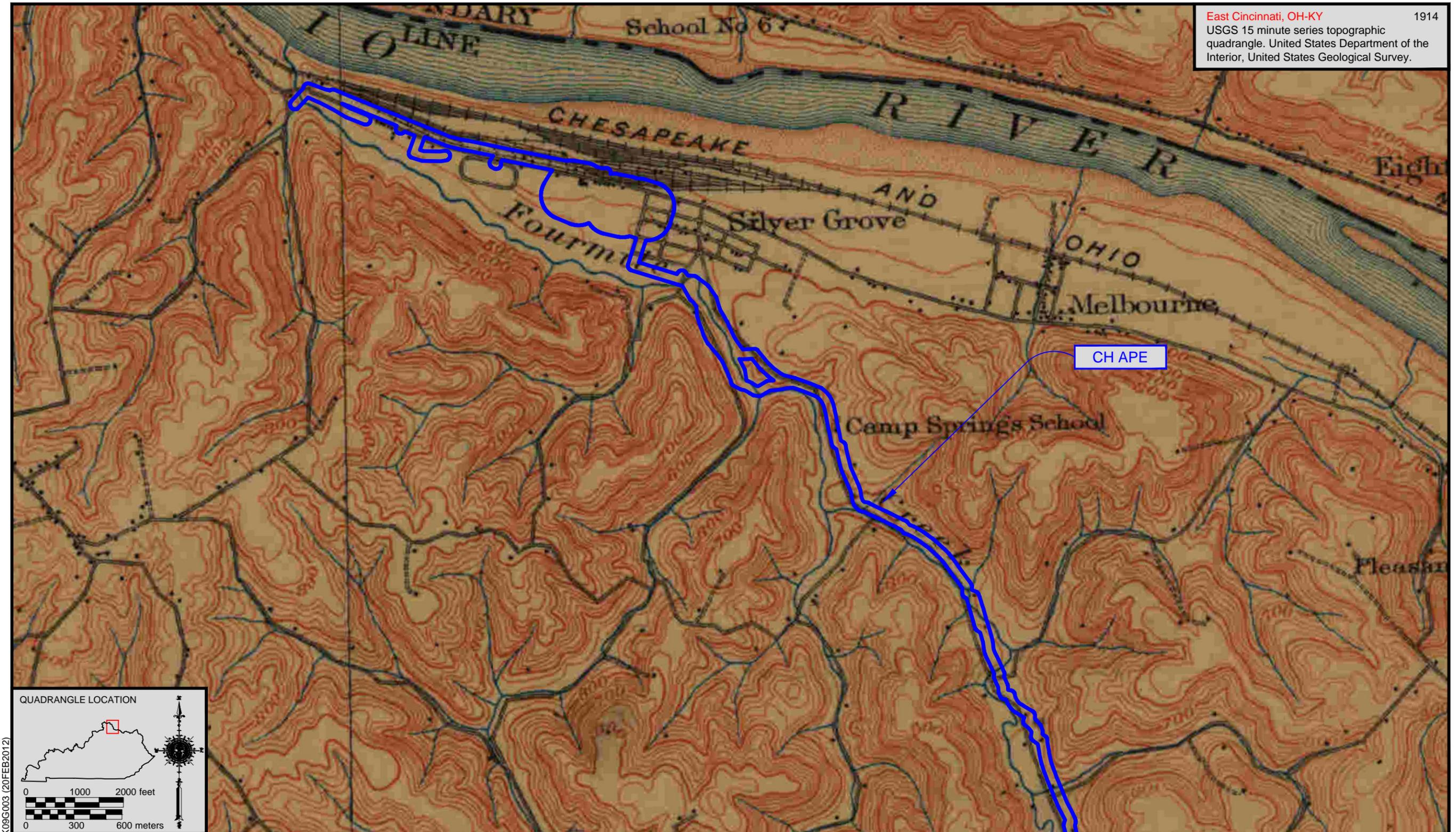


Figure 11. 1914 topographic quadrangle depicting northern portion of APE.

In 1750, Christopher Gist surveyed a 404,685 ha (500,000-acre) grant in the area on behalf of the Ohio Company, but because of the rugged topography, Native-American threats, and inaccessibility, the area was not settled. Later, the U.S. Congress preempted the claims made by the company (Belue 1992:375–376). In 1789, Major David Leitch established the first permanent settlement in present-day Campbell County by constructing a station near the river. In 1803, Newport Barracks, an army outpost, was established in Newport to supply soldiers during European-American and Native-American conflicts (Campbell County Historical Society [CCHS] 1994:3; Kleber 1992b:12).

In the 1790s, Frank Spilman and his family left King George County, Virginia, and settled on land near modern-day Alexandria. The city of Alexandria was incorporated in 1834 (Kleber 1992a:12). James Taylor, Jr., brought several settlers to the confluence of the Licking and Ohio Rivers and settled Newport in the 1790s. This city was named after Christopher Newport, the commander of the first ship to reach Jamestown, Virginia (Steely 1992a:680). Early on, Newport served as a major military center for the War of 1812. This city also experienced a large influx of German and Irish immigrants in the 1840s (CCHS 1994:3; Kleber 1992b:12; Steely 1992a:680).

Throughout the nineteenth century, Newport continued to grow and was positioned to dominate the river trade along that section of the Ohio. Cincinnati, however, eclipsed the Kentucky town, but Newport remained an important river port throughout the nineteenth century. The Newport Barracks continued to be an important military facility for processing soldiers during the War for Texas Independence and the Mexican War (Bryant 1992:155; CCHS 1994:4).

Newport served as the seat of government until 1827, when it was moved to Visalia, which is on the west bank of the Licking River. It was too isolated, however,

and the seat was returned to Newport after just a few months. In 1840, Alexandria was made the county seat, and its citizens financed the construction of a new courthouse in 1842. In 1883, the citizens of Newport raised money to construct another courthouse, and the county offices were then split between the two towns (Bryant 1992:155; Kleber 1992b:12). The two county seats were finally consolidated into one when a 2009 court ruling affirmed that Alexandria is indeed the county seat (*The Kentucky Enquirer* [TKE] 12 May 2009).

Campbell County enjoyed steady growth throughout the first half of the nineteenth century. Five years after its creation, it had only 1,534 inhabitants, but by 1810 it had 3,608. Over the next decade the population more than doubled when it reached 7,022 people, and it grew another 40.7 percent in the next decade, reaching 9,883 inhabitants in 1830. Campbell County lost a large percentage of its population when Kenton County was created on the west side of the Licking River. In 1840, the county's population slipped to 5,214 people, a 47.2 percent drop (United States Bureau of the Census [USBC], Washington, D.C., 1800–1840).

Fueled by industrialization and immigration, Campbell County grew rapidly after 1840. Much of the growth was around Newport, which was a village of 717 people in 1830 but had grown to a city of 5,895 residents by 1850. Between 1840 and 1850 the county grew over 150 percent to 13,127 inhabitants, and it grew another 59.2 percent to a population of 20,909 by 1860. In 1850 the population included 177 enslaved African Americans, and in 1860 it included 116 slaves and 88 free African Americans, which constituted less than 1 percent of the population (Collins 1882:260, 263; USBC 1840–1860).

The Civil War had little direct effect on Campbell County because of its extreme northern location. The Union Army constructed several fortifications to defend and protect the southern approaches to

Cincinnati. Fort Thomas was built in the northern portion of the county near the Ohio River. Several hundred civilian militiamen occupied the trenches when the Confederates invaded Kentucky in 1862, but the area was never seriously threatened by Rebel forces (Bryant 1992:155; Kleber 1992c:347).

The war did little to slow the industrial growth of Campbell County. Industries such as steel, meat processing, and brewing were created. This gave residents of Campbell County steady employment. The Swift Iron and Steel Company was formed during the war, and it manufactured armor for the iron-clad gunboats used on the Ohio and Mississippi River systems. The business grew rapidly, and the company was able to produce all types of products in its 32 puddling furnaces, rail mills, blast furnaces, and foundry (Bryant 1992:155; CCHS 1994:110).

In 1880 the company was purchased by a Cincinnati pig iron merchant named E.L. Harper, but financial misdealing resulted in Harper being sent to the Ohio state penitentiary. Swift Iron was forced to cool its furnaces. The mill was then purchased by H.B. Schriver and Adam Wagner, but financial problems continued to plague the company. In 1889 it was purchased by a group of businessmen that included brewing magnate George Wiedemann. They renamed it Newport Rolling Mill Company and transformed it into a successful manufacturing firm (CCHS 1994:110).

In 1866, John Butcher opened the Jefferson Street Brewery in Newport and developed it into a successful business. In 1870 George Wiedemann, Sr., became Butcher's partner, and in 1878 Wiedemann bought out the company's founder. Later in 1882, he bought out Constans Brewery, a rival operation in Newport. Wiedemann continued to expand his brewery until it was one of the largest in the nation (CCHS 1994:121).

In the 1830s a road between Newport and Winchester was built by the state. This road was very crude, and residents of Campbell County formed a turnpike

association to promote better road construction. A road was completed in the 1850s and was eventually called Alexandria Pike. This road contained two toll-gates until the 1900s, when farmers and other residents fought for a free road for access to markets in Newport, Covington, and Cincinnati (Kleber 1992b:12).

The completion of the Covington-Cincinnati Bridge (today it is known as the Roebling Suspension Bridge, named for its designer and builder John A. Roebling) across the Ohio River had a major impact on Newport and northern Kentucky. The bridge, which opened on January 1, 1867, connected Cincinnati and Covington, and although it was not a direct link to Newport, it allowed many to work in Ohio and live in Kentucky. When streetcar service was provided across the bridge, the influx of suburban dwellers into Newport and Campbell County increased. In the 1880s and 1890s bridges were built across the river that connected Newport directly to Cincinnati, further enhancing the county's growth (Steely 1992a:680; Tenkotte 1992:779-780).

The county's population increased throughout the last half of the nineteenth century until it was among the largest in the state. By 1870 the county had 27,406 inhabitants, and it grew by over 36 percent in the next decade to a population of 37,440. In the last 20 years of the century, Campbell County's population grew another 44.8 percent until it was 54,223 by 1900 (USBC 1870-1900).

In the twentieth century, Campbell County continued to develop as a manufacturing area and as a residential community. The region along the river expanded into a larger industrial area, while the highlands in the northern section of the county developed into suburbs of Newport and Cincinnati. Many of the residential areas had their origins in the nineteenth century (Bryant 1992:155).

The Wiedemann Brewery expanded until the ratification of the Eighteenth Amendment prohibited the manufacture, distribution, and

sale of alcoholic beverages. During Prohibition (1919–1933), organized crime became a dominant force in Campbell County. Illegal gambling was prevalent, and illicit liquor was widely available in Newport. After the repeal of Prohibition in 1933, many of the crime syndicates turned solely to illegal bookmaking and casino style gambling. Under the pressure of the Protestant Ministerial Association and a group of local businessmen called the Committee of 500, the Commonwealth of Kentucky finally prosecuted and shut down the syndicates in the early 1960s (Steely 1992a :680).

The Wiedemann Brewing Company resumed operation after prohibition ended and expanded into distilling scotch, vodka, and gin. G. Heilman Brewing purchased Wiedemann, which had developed into the largest brewery in the South, in 1967 and operated it until 1983 (CCHS 1994:121; Steely 1992a:680).

The Beverly Hills Supper Club at Southgate had once been one of the largest organized gambling establishments at the height of the organized crime era, but the zealous prosecution and eradication of the illegal operations forced the establishment to close. In 1970 Richard Schilling, a local developer, reopened the club, featuring fine food and Las Vegas-style entertainment. On May 28, 1977, 165 people lost their lives in a massive fire that resulted from faulty wiring and construction. It was the second worst fire disaster in U.S. history, beside the 1942 Coconut Grove fire in Boston that killed over 400 people (Wallace 1992:74).

In 1968, the Kentucky General Assembly created Northern Kentucky State College, which replaced the University of Kentucky's Northern Community College in Covington. In 1971 the college started to develop a campus in Campbell County, and it added a third year of academic classes. That year it had an enrollment of over 3,000 students, and by 1975 it had topped 6,000. The next year, the institution received university status from the state legislature, and by 1989 its

enrollment had exceeded 10,000 students (Steely 1992b:684–685).

The current public school system in Campbell County is run by both the Campbell County school district and the Newport Independent school system. Each of these systems contains several elementary schools, middle schools, and high schools (Campbell County Schools 2009; Newport Kentucky Independent Schools 2012).

Campbell County has grown steadily throughout much of the twentieth century. By 1910, 59,369 people were living in the county, and by 1920 it had grown to 61,868. By 1930 it had grown another 18.6 percent to 73,391 inhabitants. After dropping slightly to 71,918 people in 1940, the county's population rebounded to 76,196 in 1950, and it grew by nearly 14 percent to 86,803 inhabitants by 1960. In 1970, the county achieved its largest population with 88,704 residents, and it was the fourth most populated county in the state behind Jefferson, Fayette, and Kenton Counties. Its population dropped to 83,317 in 1980 but rebounded to 83,866 in 1990. In 2000, the population of Campbell County was 86,616 and in 2006 it was 86,866 (USBC 1910–2006).

## Camp Springs

Camp Springs is an unincorporated community located approximately 3 mi north-northeast of Alexandria in northeastern Campbell County. Formerly known as Indian Springs, this isolated rural hamlet was established by German immigrants who settled in the Four Mile Creek valley during the second half of the nineteenth century (Daniels 2009:38–39; Gordon 1982:7-1).

Beginning in the 1840s, political turmoil in Europe precipitated an exodus of immigrants into the Ohio River Valley. Over the course of a decade, the population of Campbell County tripled, and by 1850, 25 percent of its residents were foreign born. Among these immigrants were German families who had left their home states after the failure of the March Revolution of 1848.

Finding that the region's most fertile land had already been claimed, those not inclined to settle in urban areas such as Cincinnati, Covington, and Newport established small farms in the Eden Shale Hills of northern Kentucky. By 1860, German immigrants constituted the dominant population group in the Four Mile Creek valley. Hailing from Prussia, Bavaria, Wurttemberg, Austria, and Switzerland, the settlers of the valley brought with them cultural traditions that varied significantly from those of their Anglo-American contemporaries in the Bluegrass (Daniels 2009:38–39; Gordon 1982:8-1).

While the economy of the settlement was primarily agrarian, the topography and shallow soils of the Four Mile Creek valley were not well suited for the field crops typically grown in the region's more fertile areas. However, many of the valley's settlers, having emigrated from wine producing districts in the German states, found that its climate, steep slopes, sandy soils, and abundant supply of water were ideal for the growing of grapes, which were processed at nearby wine presses in Bracken County, Kentucky; Cincinnati; and Clermont County, Ohio. Campbell County ranked first in the state in wine production in 1850, and in 1860, Kentucky was surpassed in wine production only by California and Ohio, with Campbell County accounting for 40 percent of the wine produced in the state. After a blight decimated the region's vineyards in the 1870s, many farmers in the Camp Springs area refocused their efforts on the production of garden and orchard crops, eggs, and cider, which were sold in urban markets in Cincinnati and Newport. Others began commuting to jobs in nearby urban areas (Daniels 2009:39; Gordon 1982:8-1–8-3; Ramler 2010:7).

The earliest German immigrants to the Four Mile Creek valley were Roman Catholics and Lutherans, and both groups established churches in the area. St. Joseph Church (Site 123 [CP 62]) was founded in 1854 and is the county's earliest rural Catholic church. Associated with the parish is St. Joseph School. Established in 1868, it is

the oldest elementary school in the Diocese of Covington. Local Lutherans founded St. John's Church in 1860, which was also attended by congregants residing in southern Ohio. Many of the valley's original settlers were interred in the cemeteries associated with these churches (Gordon 1982:8-2; Ramler 2010:49; St. Joseph Parish 2012).

The settlers of Camp Springs were practitioners of a virtually unadulterated German vernacular building tradition, examples of which constitute much of the historical built environment of the area. Local oral tradition holds that Nicholas Reitman, John Braun, and other Germans were involved in the construction of buildings in the Four Mile Creek valley. Using abundant surface limestone as their primary building material, they constructed dwellings, commercial buildings, and dependencies that differ significantly from those constructed contemporaneously by the region's Anglo-American residents. The builders frequently employed hillside construction, which provided direct ground-level access to multiple levels and helped conserve precious bottomland for agricultural pursuits. Vaulted cellars used for storing wine, food, vinegar, and beer were incorporated into buildings associated with both residential and commercial properties (Sites 121 [CP 60], 130 [CP 81], and 131 [CP 92]). Fences and retaining walls of native limestone construction are ubiquitous throughout the valley (Daniels 2009:39; Gordon 1982:7-2–7-3, 8-1–8-2; Ramler 2010:7, 26, 40, 42).

Farmhouses are typically of rubble limestone construction and exhibit two- or two-and-one-half-story, double-pile, side-gabled massing and a central-passage plan. Architectural ornamentation is generally limited to stonecutters' marks on corner sections and segmental-arched stone lintels. Stone service ells are common, and two of the valley's three surviving log dwellings (Sites 130 and 131) have stone additions (Daniels 2009:39; Gordon 1982:7-2–7-3, 8-1–8-2; Ramler 2010:7, 26, 42–43).

Outbuildings were ordinarily constructed in the immediate vicinity of the farmhouse. A characteristic assemblage would have included a barn, chicken house, smokehouse, cistern, and cellar. Many of the outbuildings are of stone construction in the German vernacular tradition, including smokehouses, poultry houses, and storage buildings. Distinctive round stone smokehouses are associated with the Karl Heiert Farm (CP 58), Reitman's St. Joseph House (Site 121 [CP 60]), and Hilbert Farm (CP 65), and a circa 1891 stone bank barn is located on the Andrew Ritter Farm (Site 131 [CP 92]). Traditional timber-frame bank barns with stone foundations are associated with many local farms. The lower level of the barn typically housed livestock, and the upper level was used for storing hay and agricultural implements. According to Ramler, bank barns and smokehouses emerged post-blight as farmers in the valley adapted to the raising of livestock (Gordon 1982:7-2, 7-4; Ramler 2010:7, 25, 28, 40, 42).

Settlement-era commercial buildings are concentrated along Four Mile Road, the valley's primary thoroughfare, and are similar in form and construction to the vernacular stone residences already described. Four taverns—the Matthias Kremer House (CP 59), Uthe's Camp Springs House (Site 98 [CP 71]), Blau's Four Mile House (Site 117 [CP 61]), and Reitman's St. Joseph House—served the early residents of Camp Springs, and the latter two establishments were also inns. All four of these buildings were constructed in the 1860s. Kort Grocery (CP 63) was built in 1880, and that same year a grocery was established in a frame addition to the Matthias Kremer House (Gordon 1982:7-2-7-3; Ramler 2010:19, 30, 34, 40, 52).

Twentieth-century residences located in the Camp Springs area are indicative of an influx of Anglo-Americans into the rural German enclave. I-houses and bungalows were introduced into the valley in the first quarter of the twentieth century, followed by popular mid-century house forms constructed

on sub-divided parcels. Non-residential twentieth-century development in the valley is limited to the Camp Springs Volunteer Fire Department, Reitman Auto Parts (Site 121 [CP 60]), the Northern Kentucky Saddle Club (Site 129 [CP 326]), and the Campbell County Animal Shelter, all of which are located along Four Mile Road.

## Silver Grove

The city of Silver Grove proper, located along the Ohio River in Campbell County, was historically a portion of the Hugh Mercer Patent in possession of Hugh Mercer, a Scottish-born surgeon and captain in the French and Indian War of 1755. It was for his service to the British during the war that King George granted Mercer this area of land on the bank of the Ohio River, although Mercer is never recorded as having occupied this area. Following Mercer's death, the land passed to his sons and then to Hancock Taylor, who had purchased the patent by 1817 (Daniels 2003:24).

Despite nearby development south of Silver Grove in the unincorporated area of Camp Springs in the 1870s, the area did not witness substantial development until the late nineteenth and early twentieth centuries, following the establishment of rail lines along the Ohio River corridor. Indeed, following the establishment of the Cincinnati & South Eastern Railroad line along the bank in 1883, the area was developed as the Phoenix Grove Resort, built to accommodate passengers on passing trains that stopped at the northwest end of the future city of Silver Grove and steamboats along the Ohio River. This area was eventually sold to the U.S. Corps of Engineers, who built a dam at the site. In 1890, a second resort opened in the area. Silver Grove Park, so named for the large number of silver maple trees in the area, included amenities such as a clubhouse, dance hall, and electric light plant. However, the resort was short lived, and it was shut down just a year later in 1891 due to failure to pay debt (Daniels 2003:27; Losey, Gerald F., paper prepared for the Campbell County Historical Society, 8 April 1993, Campbell

County Historical Society, Alexandria, Kentucky).

Activity in Silver Grove would pick up again in the 1910s as a result of railroad investment. In association with the opening of the Stevens railyard, the Chesapeake & Ohio (C&O) chartered the Silver Grove Land and Building Company in order to develop a community for railroad employees. The company purchased a portion of the Mercer Patent encompassing 11 blocks bounded by present-day Ash Street, River Road, Four Mile Pike, and Third Street. By 1915, development of the community was underway, with George A. DeLong of the C&O's real estate department providing oversight for the development (Daniels 2003:28; Losey 1993:2).

Although the rail company laid out the lots and provided the infrastructure, the railroad employees were responsible for purchasing their own lots. In addition, the railroad did not operate any businesses within the community, leaving it up to private ventures to provide such services. The original plan conceived of 400 homes on lots sold for \$750 each. Utilities were provided to each home as an extension of those servicing the nearby railyard. Electricity was provided via a tap to lines running through the yard, and water was provided from the artesian well serving the railyard. Each home to be built in the community had to be approved by General Manager C. E. Roland. Homes were built on standard lot arrangements with setbacks of 23 ft from the curb. Commercial buildings were to be constructed at the sidewalk. Each house was also required to have a furnace. Homes were complemented by the landscaping, with trees whitewashed each year to maintain the "silver" appearance. Other amenities included a school and park developed on land set aside by the C&O (Daniels 2003:28).

C&O management of the town ended in August 1948 when residents were left to their own devices and infrastructure was sold off to private entities, such as the Union Light Heat and Power Company and the Campbell

County Water Service. The reason for the end of the C&O's management of the town is linked to a local campaign during which a group of residents protested that the C&O was illegally in the light and water business when it was not authorized to be. The authenticity of the campaign has been challenged, however, as rumors swirled that the C&O funded the campaign so that they would have a defensible excuse for leaving the town on its own. Regardless, following the release of the town from C&O management, any remaining residential lots were sold for \$100 each through a private realtor. With the railroad company no longer managing the town, residents, totaling 800 in the town and approximately 200 in the general vicinity, pushed for incorporation as an independent city. Incorporation occurred on January 2, 1951, when Silver Grove was designated as a sixth class city (Daniels 2003:28; Losey 1993:3).

It was during this era of dispossession that the railyard also began to experience a decrease in personnel. Whereas 425 persons had been employed by the yard in 1927, by 1967, there were only 350 persons employed. Work itself kept pace into the mid-1960s, with 20,000 to 25,000 cars being handled each week and 30 to 40 engines and 600 to 1,000 cars being repaired each day, but eventually the work dropped off in the last years of the decade and into the 1970s as the culture of transportation shifted. With diminishing need, the yard was abandoned in 1981. At this time, the City of Silver Grove annexed an additional 504 acres, zoning the land for industrial use. Following in quick succession, Landmark Grain Terminal, Mid States Terminal, and Countrymark Cooperative, Inc., were all established throughout the 1980s and early 1990s. The most recent such development was that of the Lafarge gypsum plant, a \$90 million investment on the site of the former railyard, which resulted in the construction of a half-mile long industrial complex that also required the reconfiguration of the local road network along River Road and Four Mile Pike (Daniels 2003: 27, 33–34).

## VI. INVENTORY OF SURVEYED RESOURCES

The results of the cultural historic survey are presented in Table 1, and the locations of the cultural historic resources are mapped on Figures 2a–2b and 3a–3c. To facilitate efficient assessment of common property types and potential historic districts, several of the previously undocumented properties were documented and evaluated as groups, including 41 resources in Silver Grove (Sites 18–32, 34, 36–42, 44–53, 56–62, and 64), 10 American Small Houses on Four Mile Road (Sites 68, 77, 79, 85, 86, 94, 102, 105, 124, and 125), and 12 Ranch houses on Four Mile Road (Sites 80, 81, 87–93, 97, 99, and 108). These grouped properties are described below and summarized in Tables 2, 3, and 4. Information obtained from the Campbell County Property Valuation Administration (PVA) office, historical maps, and architectural analysis was used to establish an approximate date of construction for each resource. Excepting certain outbuildings, CRA personnel did not access the interiors of surveyed resources. All statements regarding the interiors of residences are based on information derived from the PVA.

### Site 1

KHC Survey #: CP 204

Photographs: Figure 12

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723555 N: 4324696

Property Address: 4586 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: Othie R. Dishman  
4312 Winters Lane

Cold Spring, KY 41076

Deed Book/Page: 290/722

Construction Date: circa 1925

Description: Site 1 (CP 204) consists of a frame house situated on a narrow residential lot on the southwest side of Mary Ingles Highway approximately 1,100 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (KY 1998) (see Figures 2a and 3a). The residence (Figure 12), oriented to the northeast, sits back approximately 25 ft from the right-of-way (ROW) and is accessed from Mary Ingles Highway via a gravel drive. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 1 on the 1952 Newport, Kentucky-Ohio, topographic quadrangle. According to PVA records, the house was built circa 1925 (USGS 1952).

The single-story, three-bay (w/d/w), front-gabled frame residence comprises approximately 900 sq ft of living space and has an asymmetrical façade fenestration. The dwelling rests on a foundation of unknown material with walls clad in aluminum siding beneath an asphalt-shingle roof. The façade has a central shed-roofed porch sheltering a single-leaf entry that is off-center to the right, possibly suggesting an original double-door configuration. The façade entry is filled with a four-light replacement panel door set behind an aluminum storm door. The portion of the façade sheltered by the front porch is clad in brick veneer. The porch is supported by wood posts resting upon brick piers. The windows flanking the façade porch are filled with replacement eight-over-eight-light, double-hung sashes. The current façade section of the house may be an original recessed porch that has been enclosed since it is clad in vertical wood or vinyl panels. A replacement exterior brick chimney is located along the northwest elevation of the residence. The northwest elevation also has windows filled with replacement one-over-one, double-hung sashes.



Figure 12. Site 1 (CP 204): single-story, three-bay, front-gabled frame residence.

**NRHP Evaluation:** Ineligible. The house associated with Site 1 is a typical example of an early-twentieth-century, front-gabled frame form but lacks extraordinary architectural details, such as those indicative of a particular architectural style. Modifications to the residence include the apparent enclosure of the original porch, the addition of the current porch, replacement siding, windows, front door, and brick chimney. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 1 and events or persons of historical significance. Therefore, CRA recommends that Site 1 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 2

**KHC Survey #:** CP 205

**Photographs:** Figure 13

**Map:** Figures 2a and 3a

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

**UTMs:** E: 723589 N: 4324689

**Property Address:** 4594 Mary Ingles Highway  
Cold Spring, KY 41076

**Owner Information:** Danny B. and Brenda  
Vickers

**Deed Book/Page:** 179/238

**Construction Date:** circa 1925

Table 1. Surveyed Properties.

CRA Resource #	KHC Inventory #	Name/Description of Property	Construction Date	NRHP Eligibility	Effect	Photo Figure #	Earliest Map Reference	Group
1	CP 204	Single-story, three-bay, front-gabled frame residence	circa 1925	Ineligible	N/A	12	1952	
2	CP 205	Single-story, three-bay, front-gabled frame residence	circa 1925	Ineligible	N/A	13	1952	
3	CP 206	Two-story, multi-bay, flat-roofed commercial building	circa 1941	Ineligible	N/A	14	1952	
4	CP 207	Two-story, three-bay, side-gabled frame residence	circa 1945	Ineligible	N/A	15	1952	
5	CP 208	Two-story, three-bay, front-gabled frame residence	circa 1917	Ineligible	N/A	16	1952	
6	CP 209	Single-story, three-bay, gable-roofed frame residence	circa 1910	Ineligible	N/A	17	1914	
7	CP 210	Single-story, four-bay, side-gabled, frame residence	circa 1910	Ineligible	N/A	18	1914	
8	CP 211	One-and-one-half-story, three-bay, side-gabled frame residence	circa 1910	Ineligible	N/A	19	1914	
9	CP 212	One-story, three-bay, front-gabled frame residence	circa 1935	Ineligible	N/A	20	1952	
10	CP 213	One-story, three-bay, frame residence	circa 1932	Ineligible	N/A	21	1952	
11	CP 214	Community Freewill Baptist Church	circa 1900-1924	Ineligible	N/A	22	1952	
12	CP 215	Two-story, five-bay, flat-roofed commercial building	circa 1950	Ineligible	N/A	23	1952	
13	CP 216	One-and-one-half-story, three-bay, side-gabled frame residence	circa 1910	Ineligible	N/A	24	1914	
14	CP 217	One-story, four-bay, side-gabled residence	circa 1900	Ineligible	N/A	25	1900	
15	CP 218	One-story, four-bay, front-gabled frame residence	circa 1920	Ineligible	N/A	26	1952	
16	CP 94	Dutle Inn	circa 1912	Ineligible	N/A	27-29	1914	
17	CP 220	One-story, four-bay, flat-roofed concrete-block commercial building	circa 1960	Ineligible	N/A	30	1983	
18	CP 221	Southern Bungalow	circa 1920	Ineligible	N/A	308	1952	A
19	CP 222	One-and-one-half-story, side-gabled residence	circa 1900	Ineligible	N/A	309	1914	A
20	CP 223	One-and-one-half-story, side-gabled residence	circa 1905	Ineligible	N/A	310	1914	A
21	CP 224	One-and-one-half-story, side-gabled residence	circa 1905	Ineligible	N/A	311	1914	A
22	CP 225	Two-and-one-half-story, front-gabled duplex	circa 1920	Ineligible	N/A	312	1952	A
23	CP 226	Two-and-one-half-story, front-gabled duplex	circa 1920	Ineligible	N/A	313	1952	A
24	CP 227	Two-and-one-half-story, front-gabled duplex	circa 1920	Ineligible	N/A	314	1952	A
25	CP 228	Two-and-one-half-story, front-gabled duplex	circa 1923	Ineligible	N/A	315	1952	A
26	CP 229	Two-and-one-half-story, front-gabled duplex	circa 1920	Ineligible	N/A	316	1952	A
27	CP 230	Two-and-one-half-story, front-gabled duplex	circa 1920	Ineligible	N/A	317	1952	A
28	CP 231	Two-and-one-half-story, front-gabled duplex	circa 1920	Ineligible	N/A	318	1952	A
29	CP 232	American Bungalow	circa 1920	Ineligible	N/A	319	1952	A
30	CP 233	American Bungalow	circa 1920	Ineligible	N/A	320	1952	A
31	CP 234	Single-story, side-gabled residence	circa 1925	Ineligible	N/A	321	1952	A
32	CP 235	Single-story, side-gabled residence	circa 1925	Ineligible	N/A	322	1952	A
33	CP 200	WPA-constructed reinforced-concrete pump station	circa 1936	Ineligible	N/A	31 and 32	1952	
34	CP 237	One-and-one-half-story, cross-gabled residence	circa 1920	Ineligible	N/A	323	1952	A
35	CP 238	Silver Grove Christian Church	circa 1917	Ineligible	N/A	33 and 34	1952	
36	CP 239	Southern Bungalow	circa 1925	Ineligible	N/A	324	1952	A
37	CP 240	Two-story, cross-gambrelled residence	circa 1925	Ineligible	N/A	325	1952	A
38	CP 241	Single-story, hip-roofed cottage	circa 1922	Ineligible	N/A	326	1952	A
39	CP 242	Southern Bungalow	circa 1922	Ineligible	N/A	327	1952	A
40	CP 243	One-and-one-half-story, cross-gabled residence	circa 1911	Ineligible	N/A	328	1952	A
41	CP 244	Side-gabled bungalow	circa 1922	Ineligible	N/A	329	1952	A
42	CP 245	Two-story, side-gambrelled residence	circa 1922	Ineligible	N/A	330	1952	A
43	CP 246	One-story, five-bay, front-gabled frame Ranch house	circa 1956	Ineligible	N/A	35	1961	
44	CP 247	Side-gabled bungalow	circa 1922	Ineligible	N/A	331	1952	A
45	CP 248	California Bungalow	circa 1922	Ineligible	N/A	332	1952	A
46	CP 249	Two-story, front-gabled residence	circa 1920	Ineligible	N/A	333	1952	A
47	CP 250	Two-story, front-gambrelled residence	circa 1920	Ineligible	N/A	334	1952	A
48	CP 251	Single-story, hip-roofed cottage	circa 1926	Ineligible	N/A	335	1952	A
49	CP 252	Side-gabled bungalow	circa 1922	Ineligible	N/A	336	1952	A
50	CP 253	Single-story, hip-roofed cottage	circa 1920	Ineligible	N/A	337	1952	A
51	CP 254	Side-gabled bungalow	circa 1922	Ineligible	N/A	338	1952	A
52	CP 255	Side-gabled bungalow	circa 1920	Ineligible	N/A	339	1952	A
53	CP 256	Two-story, three-bay, front-gabled concrete-block and frame residence	circa 1957	Ineligible	N/A	36	1961	
54	CP 257	One-story, three-bay, side-gabled American Small House	circa 1957	Ineligible	N/A	37	1955	
55	CP 258	Four-bay, side-gabled, split-level frame house	circa 1955	Ineligible	N/A	38	1955	
56	CP 259	Side-gabled bungalow	circa 1925	Ineligible	N/A	340	1952	A
57	CP 260	Southern Bungalow	circa 1925	Ineligible	N/A	341	1983	A
58	CP 261	Southern Bungalow	circa 1925	Ineligible	N/A	342	1952	A
59	CP 262	Southern Bungalow	circa 1926	Ineligible	N/A	343	1952	A
60	CP 263	Side-gabled bungalow	circa 1925	Ineligible	N/A	344	1952	A
61	CP 264	Side-gabled bungalow	circa 1925	Ineligible	N/A	345	1952	A
62	CP 265	Southern Bungalow	circa 1925	Ineligible	N/A	346	1955	A
63	CP 266	Two-story, two-bay, front-gabled frame residence	circa 1954	Ineligible	N/A	39	1955	
64	CP 267	Southern Bungalow	circa 1925	Ineligible	N/A	347	1952	A
65	CP 268	One-and-one-half-story, three-bay frame American Bungalow	circa 1925	Ineligible	N/A	40 and 41	1952	

CRA Resource #	KHC Inventory #	Name/Description of Property	Construction Date	NRHP Eligibility	Effect	Photo Figure #	Earliest Map Reference	Group
66	CP 269	Two-story, five-bay, double-pile, side-gabled frame residence	circa 1890	Ineligible	N/A	42-45	1883	
67	CP 270	One-story, three- or four- bay, Linear-with-Clusters Ranch house	circa 1961	Ineligible	N/A	46 and 47	1961	
68	CP 271	American Small House	circa 1925-1949	Ineligible	N/A	348	1955	B
69	CP 272	Single-story, two-bay, gable-roofed frame residence	circa 1900-1924	Ineligible	N/A	48-51	1914	
70	CP 273	Single-story, three-bay, gable-roofed frame residence	circa 1951	Ineligible	N/A	52-54	1952	
71	CP 274	Nineteenth-century farmstead	circa 1875-1899	Ineligible	N/A	55-60	1914	
72	CP 275	Nineteenth-century farmstead associated with St. Anne Convent	circa 1850-1875	Ineligible	N/A	61-68	1883	
73	CP 276	Single-story, three-bay, side-gabled frame residence	circa 1901	Ineligible	N/A	69 and 70	1900	
74	CP 277	Nineteenth-century farmstead	circa 1873	Ineligible	N/A	71-85	1883	
75	CP 278	One-and-one-half-story, three-bay, side-gabled frame residence	circa 1890	Ineligible	N/A	86-88	1883	
76	CP 279	One-and-one-half-story, three-bay, cross-gabled frame residence	circa 1953	Ineligible	N/A	89	1952	
77	CP 280	American Small House	circa 1950	Ineligible	N/A	349	1953	B
78	CP 281	One-and-one-half-story, two-bay frame residence	circa 1951	Ineligible	N/A	90	1953	B
79	CP 282	American Small House	circa 1925-1949	Ineligible	N/A	350	1961	B
80	CP 283	Linear Ranch house	circa 1956	Ineligible	N/A	358	1961	C
81	CP 284	Linear Ranch house	circa 1958	Ineligible	N/A	359	1961	C
82	CP 285	One-and-one-half story, three-bay, side-gabled frame residence	circa 1948	Ineligible	N/A	91	1953	
83	CP 286	American Bungalow	circa 1937	Ineligible	N/A	92	1953	
84	CP 287	Nineteenth-century farmstead	circa 1850	Ineligible	N/A	93-102	1883	
85	CP 288	American Small House	circa 1940	Ineligible	N/A	351	1953	B
86	CP 289	American Small House	circa 1954	Ineligible	N/A	352	1961	B
87	CP 290	Linear Ranch house	circa 1957	Ineligible	N/A	360	1961	C
88	CP 291	Linear Ranch house with Clusters	circa 1959	Ineligible	N/A	361	1961	C
89	CP 292	Linear Ranch house with Clusters	circa 1956	Ineligible	N/A	362	1961	C
90	CP 293	Linear Ranch house	circa 1959	Ineligible	N/A	363	1974	C
91	CP 294	Linear Ranch house	circa 1959	Ineligible	N/A	364	1961	C
92	CP 295	Compact Ranch house	circa 1961	Ineligible	N/A	365	1961	C
93	CP 296	Compact Ranch house	circa 1959	Ineligible	N/A	366	1961	C
94	CP 297	American Small House	circa 1953	Ineligible	N/A	353	1961	B
95	CP 72	John Weber Farm	1865	Listed	No Adverse Effect	103-109 and 111	1883	
96	CP 298	Nineteenth-century farmstead	circa 1900	Ineligible	N/A	112-117	1883	
97	CP 299	Linear Ranch house	circa 1959	Ineligible	N/A	367	1961	C
98	CP 71	Camp Springs House	circa 1860	Listed	No Adverse Effect	118-122	1883	
99	CP 300	Linear Ranch house	circa 1959	Ineligible	N/A	368	1961	C
100	CP 301	Dry-laid rock fence fragment	unknown	Ineligible	N/A	124	N/A	
101	CP 302	Nineteenth-century farmstead	circa 1851	Ineligible	N/A	125-131	1883	
102	CP 303	American Small House	circa 1942	Ineligible	N/A	354	1953	B
103	CP 304	One-story, three-bay, front-gabled frame residence	circa 1925	Ineligible	N/A	132	1953	
104	CP 305	Nineteenth century farmstead	circa 1850-1874	Ineligible	N/A	133-143	1883	
105	CP 306	American Small House	circa 1953	Ineligible	N/A	355	1961	B
106	CP 307	Southern Bungalow	circa 1954	Ineligible	N/A	142-144	1961	
107	CP 308	American Bungalow	circa 1928	Ineligible	N/A	145 and 146	1953	
108	CP 309	Half-Courtyard Ranch house	circa 1961	Ineligible	N/A	369	1983	C
109	CP 310	Nineteenth-century farmstead	circa 1890	Ineligible	N/A	147-151	1883	
110	CP 311	Dry-laid rock retaining wall fragment	unknown	Ineligible	N/A	152	N/A	
111	CP 312	Reinforced-concrete slab bridge	unknown	Ineligible	N/A	153 and 154	N/A	
112	CP 313	Single-story, side-gabled frame residence	circa 1947	Ineligible	N/A	155-158	1961	
113	CP 314	Timber-frame bank barn	circa 1875-1899	Ineligible	N/A	159-162	1883	
114	CP 315	Frame outbuildings	circa 1925-1949	Ineligible	N/A	163-167	1981	
115	CP 316	Nineteenth-century farmstead	circa 1890	Ineligible	N/A	168-174	1883	
116	CP 317	Two-and-one-half story, front-gabled frame residence	circa 1890	Ineligible	N/A	175 and 176	1883	
117	CP 61	Blau's Four Mile House	circa 1850-1874	Listed	No Adverse Effect	177-184	1883	
118	CP 318	One-and-one-half story, three-bay, cross-gabled, frame L-plan residence	circa 1865	Ineligible	N/A	185 and 186	1883	
119	CP 91	Leick House	circa 1865	Listed	No Adverse Effect	187-199	1883	
120	CP 319	Reinforced-concrete T-beam box culvert	1937	Ineligible	N/A	201-203	N/A	
121	CP 60	Reitman's St. Joseph House	circa 1868	Listed	No Adverse Effect	204-212	1883	
122	CP 62	St. Joseph's Catholic Church and Cemetery	1864	Listed	No Adverse Effect	214-229	1883	
123	CP 320	Single-story, four-bay, side-gabled concrete-block garage	circa 1960	Ineligible	N/A	231	1972	
124	CP 321	American Small House	circa 1953	Ineligible	N/A	356	1953	B
125	CP 322	American Small House	circa 1951	Ineligible	N/A	357	1981	B
126	CP 323	American Bungalow	circa 1924	Ineligible	N/A	232-235	1953	
127	CP 324	Neltner Farm	circa 1925	Ineligible	N/A	236-257	1883	
128	CP 52	Baumann House	circa 1852	Listed	No Adverse Effect	258-263	1883	
129	CP 325	Northern Kentucky Saddle Club	circa 1940	Ineligible	N/A	265-267	1981	
130	CP 81	Gubser-Schuchter Farm	circa 1850	Listed	No Adverse Effect	268-277	1883	
131	CP 92	Andrew Ritter Farm	circa 1875-1899	Listed	No Adverse Effect	N/A	1883	
132	CP 51	Ort-Heeb Farm	1885	Listed	No Adverse Effect	280-292	1883	

CRA Resource #	KHC Inventory #	Name/Description of Property	Construction Date	NRHP Eligibility	Effect	Photo Figure #	Earliest Map Reference	Group
133	CP 326	Nineteenth-century farmstead	circa 1890	Ineligible	N/A	294-307	1883	

Table 2. Group A: Surveyed Properties.

CRA Resource #	KHC Inventory #	Address	Property Type	Style/Form	Construction Date	Stories	Roof	Roof Materials	Foundation	Walls	Garage(s)
18	CP 221	4988 Mary Ingles Dr.	residential	Southern Bungalow	circa 1920	1	Gambrel	asphalt shingles	Concrete block	Brick/Vinyl	none
19	CP 222	5024 Mary Ingles Dr.	residential	1.5 story, side gable	circa 1900	1.5	Side-gabled	asphalt shingles	Concrete block	Vinyl/Vertical board	none
20	CP 223	5034 Mary Ingles Dr.	residential	1.5 story, side gable	circa 1905	1.5	Side-gabled	asphalt shingles	Concrete block	Vinyl	none
21	CP 224	5044 Mary Ingles Dr.	residential	1.5 story, side gable	circa 1905	1.5	Side-gabled	asphalt shingles	Concrete block	Wood/Composite (modern)	none
22	CP 225	5048-5050 Mary Ingles Dr.	residential (duplex)	2.5 story, front gable	circa 1920	2.5	Front-gabled	asphalt shingles	Concrete block	Vinyl	none
23	CP 226	5052-5054 Mary Ingles Dr.	residential (duplex)	2.5 story, front gable	circa 1920	2.5	Front-gabled	asphalt shingles	Brick	Vinyl	none
24	CP 227	5058 Mary Ingles Dr.	residential converted to commercial	2.5 story, front gable with addition	circa 1920	2.5	Front-gabled	asphalt shingles	Concrete block	Brick	none
25	CP 228	5068 Mary Ingles Dr.	residential converted to FOP Lodge	2.5 story, front gable with addition	circa 1923	2.5	Front-gabled	asphalt shingles	Concrete block	Vinyl/Brick	none
26	CP 229	5072 Mary Ingles Dr.	residential converted to commercial	2.5 story, front gable with addition	circa 1920	2.5	Front-gabled	asphalt shingles	Concrete block	Vinyl/Brick	none
27	CP 230	5076-5078 Mary Ingles Dr.	residential (duplex)	2.5 story, front gable	circa 1920	2.5	Front-gabled	asphalt shingles	Concrete block	Vinyl	none
28	CP 231	5080-5082 Mary Ingles Dr.	residential (duplex)	2.5 story, front gable	circa 1920	2.5	Front-gabled	asphalt shingles	Unknown	Vinyl	none
29	CP 232	5084 Mary Ingles Dr.	residential	American Bungalow	circa 1920	2.5	Side-gabled	asphalt shingles	Pargeted/Unknown	Aluminum	none
30	CP 233	5088 Mary Ingles Dr.	residential	American Bungalow	circa 1920	1.5	Side-gabled	asphalt shingles	Concrete block	Vinyl	detached
31	CP 234	5092 Mary Ingles Dr.	residential	1 story, side gable	circa 1925	1	Side-gabled	asphalt shingles	Concrete block	Vinyl	none
32	CP 235	5094 Mary Ingles Dr.	residential	1 story, side gable	circa 1925	1	Side-gabled	asphalt shingles	Concrete block	Vinyl	none
34	CP 237	117 W. 2nd St.	residential	1.5 story, cross-gable	circa 1920	1.5	Cross-gabled	asphalt shingles	Poured concrete	Brick/Wood shingles	none
36	CP 239	201 W. 2nd St.	residential	Southern Bungalow	circa 1925	1.5	Front-gabled	asphalt shingles	Concrete block	Brick/Vinyl	none
37	CP 240	202 W. 2nd St.	residential	2 story, cross-gambrel	circa 1925	2	Gambrel	asphalt shingles	Concrete block	Brick/Vinyl	none
38	CP 241	203 W. 2nd St.	residential	1 story, hip roof cottage	circa 1922	1	Hipped	asphalt shingles	Concrete block	Brick/Aluminum	detached
39	CP 242	205 W. 2nd St.	residential	Southern Bungalow	circa 1922	1.5	Front-gabled	asphalt shingles	Concrete block	Brick/Vinyl	detached
40	CP 243	206 W. 2nd St.	residential	1.5 story, cross-gable	circa 1911	1.5	Cross-gabled	asphalt shingles	Unknown	Brick/Vinyl	none
41	CP 244	207 W. 2nd St.	residential	side-gable Bungalow	circa 1922	1.5	Side-gabled	asphalt shingles	Concrete block	Brick/Vinyl	none
42	CP 245	209 W. 2nd St.	residential	2 story, side gambrel	circa 1922	2	Gambrel	asphalt shingles	Concrete block	Brick/Vinyl	none
44	CP 247	211 W. 2nd St.	residential	side-gable Bungalow	circa 1922	1	Side-gabled	asphalt shingles	Concrete block	Brick/Composite	none
45	CP 248	213 W. 2nd St.	residential	California Bungalow	circa 1922	1	Front-gabled	asphalt shingles	Concrete block	Brick/Vinyl	detached
46	CP 249	214 W. 2nd St.	residential	2 story, front gable	circa 1920	2	Front-gabled	asphalt shingles	Brick	Brick	none
47	CP 250	215 W. 2nd St.	residential	2 story, front gambrel	circa 1920	2	Gambrel	asphalt shingles	Concrete block	Brick/Vinyl	none
48	CP 251	216 W. 2nd St.	residential	1 story, hip roof cottage	circa 1926	1	Hipped	asphalt shingles	Concrete block	Brick	none
49	CP 252	217 W. 2nd St.	residential	side-gable Bungalow	circa 1922	1	Side-gabled	asphalt shingles	Concrete block	Brick/Aluminum	detached
50	CP 253	218 W. 2nd St.	residential	1 story, hip roof cottage	circa 1920	1	Hipped	asphalt shingles	Concrete block	Brick	attached (basement)
51	CP 254	219 W. 2nd St.	residential	side-gable Bungalow	circa 1922	1	Side-gabled	asphalt shingles	Concrete block	Brick/Aluminum	none
52	CP 255	220 W. 2nd St.	residential	side-gable Bungalow	circa 1920	1	Side-gabled	asphalt shingles	Concrete block	Brick/Aluminum	attached (basement)
56	CP 259	110 W. 4th St.	residential	side-gable Bungalow	circa 1925	1.5	Side-gabled	asphalt shingles	Concrete block	Brick/Aluminum	none
57	CP 260	118 W. 4th St.	residential	Southern Bungalow	circa 1925	1	Front-gabled	asphalt shingles	Concrete block	Brick/Composite	attached (basement)
58	CP 261	120 W. 4th St.	residential	Southern Bungalow	circa 1925	1	Clipped front-gabled	asphalt shingles	Concrete block	Brick/Aluminum	none
59	CP 262	122 W. 4th St.	residential	Southern Bungalow	circa 1926	1	Front-gabled	asphalt shingles	Poured concrete	Brick/Vinyl	attached (basement)
60	CP 263	124 W. 4th St.	residential	side-gable Bungalow	circa 1925	1	Side-gabled	asphalt shingles	Concrete block	Brick/Vinyl	none
61	CP 264	202 W. 4th St.	residential	side-gable Bungalow	circa 1925	1	Side-gabled	asphalt shingles	Concrete block	Brick/Vinyl	none
62	CP 265	204 W. 4th St.	residential	Southern Bungalow	circa 1925	1.5	Front-gabled	asphalt shingles	Concrete block	Vinyl	none
64	CP 267	212 W. 4th St.	residential	Southern Bungalow	circa 1925	1.5	Front-gabled	asphalt shingles	Concrete block	Vinyl	attached (basement)

Table 3. Group B: Surveyed Properties.

CRA Resource #	KHC Inventory #	Address	Property Type	Style/Form	Construction Date	Stories	Roof	Roof Materials	Foundation	Walls	Sq ft	Garage(s)
68	CP 271	5300 Four Mile Rd.	house	American Small House	circa 1925-1949	1.5	side gable	asphalt shingle	undetermined	vinyl	unknown	none
77	CP 280	5961 Four Mile Rd.	house	American Small House	circa 1950	1.5	side gable	asphalt shingle	poured concrete	vinyl	1260	attached via hyphen
79	CP 282	5977 Four Mile Rd.	house	American Small House	circa 1925-1949	1	front gable	asphalt shingle	concrete block	concrete block	unknown	none
85	CP 288	6142 Four Mile Rd.	house	American Small House	circa 1940	1	side gable	asphalt shingle	concrete block	vinyl	1800	attached (basement)
86	CP 289	6154 Four Mile Rd.	house	American Small House	circa 1954	1	side gable	asphalt shingle	concrete block	vinyl	1954	attached (basement)
94	CP 297	6240 Four Mile Rd.	house	American Small House	circa 1953	1.5	side gable	asphalt shingle	undetermined	brick veneer	1664	detached
102	CP 303	6469 Four Mile Rd.	house	American Small House	circa 1942	1.5	side gable	asphalt shingle	undetermined (parged)	brick veneer	1092	detached
105	CP 306	6489 Four Mile Rd.	house	American Small House	circa 1953	1.5	side gable	asphalt shingle	poured concrete	vinyl	1312	attached (basement)
124	CP 321	6830 Four Mile Rd.	house	American Small House	circa 1953	1.5	side gable	asphalt shingle	concrete block	vinyl & asbestos	1040	detached carport
125	CP 322	6883 Four Mile Rd.	house	American Small House	circa 1951	1.5	side gable	asphalt shingle	poured concrete	asbestos	1314	attached (basement)

Table 4. Group C: Surveyed Properties.

CRA Resource #	KHC Inventory #	Address	Property Type	Style/Form	Construction Date	Stories	Roof	Roof Materials	Foundation	Walls	Sq ft	Garage(s)
80	CP 283	5985 Four Mile Rd.	house	Linear Ranch	circa 1956	1	side gable	asphalt shingle	undetermined	board and batten	1336	detached
81	CP 284	6023 Four Mile Rd.	house	Linear Ranch	circa 1958	1	side gable	asphalt shingle	poured concrete	vinyl	1176	attached
87	CP 290	6166 Four Mile Rd.	house	Linear Ranch	circa 1957	1	hip	asphalt shingle	undetermined	brick veneer	1275	detached
88	CP 291	6174 Four Mile Rd.	house	Linear Ranch with Clusters	circa 1959	1	cross gable	asphalt shingle	undetermined	vinyl and stone veneer	2044	attached
89	CP 292	6178 Four Mile Rd.	house	Linear Ranch with Clusters	circa 1956	1	cross gable	asphalt shingle	poured concrete	brick veneer	1956	detached
90	CP 293	6198 Four Mile Rd.	house	Linear Ranch	circa 1959	1	hip	asphalt shingle	undetermined	brick veneer	1222	attached
91	CP 294	6208 Four Mile Rd.	house	Linear Ranch	circa 1959	1	side gable	asphalt shingle	poured concrete	brick veneer	1080	attached (basement)
92	CP 295	6210 Four Mile Rd.	house	Compact Ranch	circa 1961	1	side gable	v-crimp metal panel	poured concrete	vinyl	1040	attached via hyphen
93	CP 296	6222 Four Mile Rd.	house	Compact Ranch	circa 1959	1	side gable	asphalt shingle	poured concrete	aluminum	832	attached (basement)
97	CP 299	6343 Four Mile Rd.	house	Linear Ranch	circa 1959	1	hip	asphalt shingle	poured concrete	brick veneer	1740	attached (modified)
99	CP 300	6389 Four Mile Rd.	house	Linear Ranch	circa 1959	1	Dutch hip	asphalt shingle	undetermined	vinyl	1144	attached carport
108	CP 309	6521 Four Mile Rd.	house	Half Courtyard Ranch ("L")	circa 1961	1	cross gable	asphalt shingle	poured concrete	brick veneer	1443	attached

**Description:** Site 2 (CP 205) consists of a frame house situated on a residential lot on the southwest side of Mary Ingles Highway approximately 1,200 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The residence (Figure 13), oriented to the northeast, sits back approximately 25 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 2 on the 1952 Newport, Kentucky-Ohio topographic quadrangle. PVA records indicate that the house was built circa 1925 (USGS 1952).

The single-story, three-bay (d/d/w), front-gabled frame residence comprises approximately 900 sq ft of living space and has a two-bay, side-gabled addition on its southeast elevation. The dwelling rests on a rusticated-concrete-block foundation with walls clad in vinyl siding beneath an asphalt-shingle roof. The façade has a gable-roofed porch extending nearly the width of the

original block of the house and sheltering two single-leaf entries. The façade entry to the left along the façade is filled with a replacement panel door exhibiting a decorative glass panel filling the top half of the door. The central single-leaf entry is set behind a twelve-light aluminum storm door. The porch roof is supported by square, brick columns resting on a concrete deck. The porch has a concrete-block foundation. The window filling the third bay of the original block's façade has replacement one-over-one-light, double-hung sashes. Along the northwest elevation is a window filled with similar replacement sashes and a larger window opening that appears to have a three-part sash or storm window. The southeast addition's façade and southeast gable end elevations have windows filled with six-over-six-light, double-hung vinyl sashes. The addition appears to be supported by a concrete-block foundation. A brick chimney pierces the ridgeline and northwest roof slope of the original block of the residence. A wood deck is located to the rear of the dwelling's side-gabled addition.



Figure 13. Site 2 (CP 205): single-story, three-bay, front-gabled frame residence.

NRHP Evaluation: Ineligible. The house associated with Site 2 is a typical example of an early-twentieth-century, front-gabled frame form but lacks extraordinary architectural details, such as those indicative of a particular architectural style. Modifications to the residence include the addition to the southeast elevation of the original portion of the dwelling, replacement siding, windows, and two façade doors. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 2 and events or persons of historical significance. Therefore, CRA recommends that Site 2 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

### Site 3

KHC Survey #: CP 206

Photographs: Figure 14

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723740 N: 4324622

Property Address: 4634 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: C&N Construction Company, Inc.

21 North Crescent Avenue

Fort Thomas, KY 41076

Deed Book/Page: 284/749

Construction Date: circa 1941

Description: Site 3 (CP 206) consists of a commercial building situated on a 3.787-acre lot on the southwest side of Mary Ingles Highway approximately 1,775 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The commercial building (Figure 14), oriented to the northeast, sits back approximately 25 ft from the ROW and is accessed from Mary Ingles Highway via a gravel and paved parking lot. The property was surveyed from the public ROW.



Figure 14. Site 3 (CP 206): two-story, multi-bay, flat-roofed commercial building.

A building is first depicted in the approximate location of Site 3 on the 1952 Newport, Kentucky-Ohio topographic quadrangle. According to PVA records, the building was built circa 1941 (USGS 1952).

The two-story commercial building comprises approximately 4,032 sq ft of interior space and has a nearly flat roof. A single-story, four-bay, flat-roofed concrete-block addition is located along the original section's northeast elevation. The original portion of the building rests on a foundation of undetermined material. The first-story walls are clad in masonry, while the second story has been clad in vinyl siding. The original façade of the building appears to have been oriented to the northwest since this elevation has a centered, double-leaf entry with a transom flanked by large plate-glass windows. The entry is filled with aluminum-frame commercial glass doors. A shed-roofed awning currently shelters the entry. Three large windows filled with plate glass are located along the northeast elevation near the entry to the building. To the southeast of the ribbon of three windows, the wall plane projects outward, and it originally continued to the southeast. At the corner created by the change in wall planes are two single-leaf entries, one oriented to the northwest and the second to the northeast. A window with a replacement single-light sash is located along the northeast elevation of the second story, while a window with a similar sash is located along the northwest elevation. Also along the northeast elevation is a window filled with a three-light sash. The roof of the original section of the building has a very deep eave along the narrower northwest and northeast portions of the original section, while the remaining portion of the northeast elevation has a narrower eave. The southeast elevation also has a very deep eave.

The single-story, four-bay (d/d/d/d), flat-roofed, concrete-block portion of the building, located along the northeast elevation facing Mary Ingles Highway, appears to be a later addition. Three of the entries contain overhead glass-and-metal-frame garage doors, while the fourth is a pedestrian entry. The left garage

bay is partially below grade and has a larger opening than the other two garage bays. Five windows are located along the southeast elevation of the addition, each filled with three-over-three-light sashes, possibly awning sashes. The cornice of this addition appears to be constructed of vertical metal panels.

Although it's unclear, the original portion of this building may have contained a roadside restaurant or other roadside commercial establishment since the plate-glass windows indicate a commercial venture reliant upon traffic from the adjacent highway. Photographs taken prior to the current remodeling of the building indicate the second story was possibly utilized for residential or lodging purposes, as a porch has been removed that extended from the second story under the deeper eaves of the northwest and northeast elevations. A deck or porch may also have been located along the southeast elevation of the building's second story. A photograph on the Campbell County PVA website also shows numerous windows and a pair of sliding glass doors opening onto the upstairs porch that have been enclosed with vinyl siding.

**NRHP Evaluation:** Ineligible. The commercial building associated with Site 3 is an unremarkable example of a mid-twentieth-century roadside commercial building. Modifications to this commercial building include the garage addition to the northeast elevation of the original portion of the building, replacement siding and windows, enclosure of former windows and entries, and the removal of the second-story porches/decks. These alterations have compromised the building's integrity of design, materials, and workmanship. Site 3 is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 3 and events or persons of historical significance. Therefore, CRA recommends that Site 3 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 4

KHC Survey #: CP 207

Photographs: Figure 15

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723797 N: 4324598

Property Address: 4648 Mary Ingles Highway  
Cold Spring, KY  
41076

Owner Information: Michael and Sharon  
Feiler

Deed Book/Page: 230/575

Construction Date: circa 1945

Description: Site 4 (CP 207) consists of a frame house situated on a 2-acre lot on the southwest side of Mary Ingles Highway approximately 1,960 ft southeast of the intersection of Mary Ingles Highway and

Industrial Road (see Figures 2a and 3a). The residence (Figure 15), oriented to the northeast, sits back approximately 40 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 4 on the 1952 Newport, Kentucky-Ohio topographic quadrangle. The house was built circa 1945, according to PVA records (USGS 1952).

The two-story, three-bay (w/d/w), side-gabled frame residence comprises approximately 1,520 sq ft of living space. It rests on a raised cast-concrete or concrete-block basement foundation and has walls clad in vinyl siding. The side-gabled roof has a slight pitch, and the roof sheathing is not visible. The soffits and fascia boards of the house have been clad in aluminum or vinyl siding. The façade has a three-quarter-width gable-roofed porch sheltering a single-leaf entry flanked by windows. The façade entry is filled with a wood panel, half-light door set behind a full-light aluminum storm door.



Figure 15. Site 4 (CP 207): two-story, three-bay, side-gabled frame residence.

The porch is supported by decorative metal posts resting on a concrete deck. The windows flanking the façade entry are filled with single-over-single-light, double-hung sashes and are covered with storm windows. The window sashes appear to be replacements, although this is unclear. Two small, nearly square windows are located along the second floor just above the façade porch and aligned with the first-floor façade windows. These upper-story windows are filled with single-light sashes and covered with storm windows. The northwest elevation exhibits four windows, two on each floor. Three of the windows are similar to the façade first-floor windows, while one of the first-floor windows has narrow, rectangular sashes. A raised screen porch addition extends from the rear elevation of the dwelling. An interior brick chimney pierces the roof of the residence.

Situated approximately 30 ft west-southwest of the residence is an outbuilding with a rather large footprint. That portion of the outbuilding visible from the ROW appears to have a nearly flat roof with a shed-roofed section along the northwest elevation that may be a later addition. The northeast elevation of the single-story outbuilding, oriented to Mary Ingles Highway, is clad in vinyl siding and exhibits a single-leaf pedestrian entry at the northeast corner. This entry is filled with a modern metal door. The northeast elevation of the shed-roofed section has a window filled with one-over-one-light sashes. A vertical-wood-plank fence/gate obscures the southeast portion of the outbuilding, although portions of this elevation appear to be clad in particle board.

**NRHP Evaluation:** Ineligible. The house associated with Site 4 is an unusual example of a mid-twentieth-century, two-story frame residence. The massing, low pitch of the roof, and small second-floor façade windows are not typical of mid-twentieth-century residences. The dwelling lacks extraordinary architectural details, and modifications have compromised its integrity of design, materials, and workmanship. Alterations to the house include the replacement siding that obscures the original window trim, window sills, and the façade's entry trim; cladding of the soffits and

fascia boards; possible replacement windows; and the apparent rear screen porch addition. The residence is not an outstanding example of a particular architectural type, period, or method of construction. The outbuilding associated with Site 4 lacks integrity and architectural significance. Archival research indicated no association between Site 4 and events or persons of historical significance. Therefore, CRA recommends that Site 4 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 5

**KHC Survey #:** CP 208

**Photographs:** Figure 16

**Map:** Figures 2a and 3a

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

**UTMs:** E: 723818 N: 4324588

**Property Address:** 4654 Mary Ingles Highway  
Cold Spring, KY 41076

**Owner Information:** Pearl and Nettie Baker

P.O. Box 141

Silver Grove, KY 41085

**Deed Book/Page:** 119/399

**Construction Date:** circa 1917

**Description:** Site 5 (CP 208) consists of a frame house situated on a residential lot of approximately 1.22 acres on the southwest side of Mary Ingles Highway approximately 2,050 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The residence (Figure 16), oriented to the northeast, sits back approximately 60 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive. The property was surveyed from the public ROW along the highway.



Figure 16. Site 5 (CP 208): two-story, three-bay, front-gabled frame residence.

A residence is first depicted in the approximate location of Site 5 on the 1952 Newport, Kentucky-Ohio topographic quadrangle. PVA records indicate that the residence was built circa 1917 (USGS 1952).

The single-story, three-bay (w/d/w), front-gabled frame residence comprises approximately 965 sq ft of living space. The front portion of the dwelling rests on a possible concrete foundation, although it may be covered in a parge coating. The middle section of the residence is supported by a mortared-stone foundation. The exterior walls are clad in vinyl siding beneath an asphalt-shingle roof. The soffits and fascia boards are clad in vinyl or aluminum. The façade has a front-gabled section that may be a later addition to the original side-gabled section of the house, or the house may have been a T-plan with the roofline altered, although this is speculative. If it is an addition, it could still be over 50 years of age. The front-gabled façade section has an asymmetrical roofline and a recessed porch along its southeast portion. The integral porch shelters a window and single-

leaf entry along the façade wall plane and a second single-leaf entry along the southeast wall plane. Both entries are filled with replacement doors, and the window has replacement six-over-six-light, double-hung sashes. The porch is supported by two box columns resting on brick piers, and a third support is a simple, square wood post. The porch appears to have a wood deck. The window along the northwestern portion of the façade is filled with a replacement sixteen-light fixed sash. The southeast elevation of the dwelling has a side-gabled roof section, while the rear of the house has a gabled roof similar to the façade section. Four bays are located along the southeast elevation, including three windows with replacement six-over-six-light, double-hung sashes and a single-leaf entry filled with a replacement metal panel door. This side entry opens onto a wood porch with wood steps.

A modern, prefabricated outbuilding is located to the rear of the house. Aerial photographs indicate that it was erected between 2007 and 2009.

NRHP Evaluation: Ineligible. The house associated with Site 5 is an unexceptional example of an early-twentieth-century, frame, single-story residence that lacks noteworthy architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the replacement siding, windows, cladding of the soffits and fascia boards, and three entry doors. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 5 and events or persons of historical significance. Therefore, CRA recommends that Site 5 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 6

KHC Survey #: CP 209

Photographs: Figure 17

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723871 N: 4324524

Property Address: 4670 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: Robert R. and Kathy S.  
Poynter

Deed Book/Page: 276/836

Construction Date: circa 1910

Description: Site 6 (CP 209) consists of a frame house situated on an 87-x-437 ft residential lot on the southwest side of Mary Ingles Highway approximately 2,300 ft southeast of the intersection of the highway and Industrial Road (see Figures 2a and 3a). The residence (Figure 17), oriented to the northeast, sits back approximately 180 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive.



Figure 17. Site 6 (CP 209): single-story, three-bay, gable-roofed frame residence.

A residence is first depicted in the approximate location of Site 6 on the 1914 East Cincinnati, Ohio-Kentucky 15-minute topographic quadrangle (see Figure 11). The house was built circa 1910, according to PVA records (USGS 1914).

The single-story, three-bay (w/d/w), frame residence comprises approximately 1,015 sq ft of living space. It exhibits asymmetrical massing and has a gabled roof. The façade portion of the foundation is obscured, but the southeast elevation is supported by a rusticated concrete-block foundation. The exterior walls are clad in vinyl siding beneath an asphalt-shingle roof. The soffits and fascia boards are clad in vinyl or aluminum. The façade has a side-gabled and front-gabled roof configuration. A shed-roofed porch shelters the single-leaf entry and the window to the right of the entry. The window to the left of the entry has three-part horizontal sliding replacement sashes. The window to the right of the entry is filled with two-light, horizontal sliding replacement sashes. The shed-roofed porch is supported by squared wood posts resting on a wood deck. The porch wraps around to the northwest elevation of the dwelling. The three windows along the southeast elevation of the residence are filled with replacement one-over-one-light, double-hung sashes.

**NRHP Evaluation:** Ineligible. The house associated with Site 6 is an unexceptional example of an early-twentieth-century, frame, single-story residence with numerous alterations, including replacement siding, windows, and cladding of the soffits and fascia boards. The wrap-around porch also does not appear to be 50 years of age. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 6 and events or persons of historical significance. Therefore, CRA recommends that Site 6 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 7

KHC Survey #: CP 210

Photographs: Figure 18

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723871 N: 4324524

Property Address: 4672 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: Robert and Brenda  
Schwarberg

Deed Book/Page: 232/428

Construction Date: circa 1910

**Description:** Site 7 (CP 210) consists of a frame house situated on an 85-x-140 ft residential lot on the southwest side of Mary Ingles Highway approximately 2,315 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The residence (Figure 18), oriented to the northeast, sits back approximately 185 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive.

A residence is first depicted in the approximate location of Site 7 on the 1914 East Cincinnati, Ohio-Kentucky, 15-minute topographic quadrangle (see Figure 11). PVA records indicate that the house was built circa 1910 (USGS 1914).

The single-story, four-bay (w/d/w/d), side-gabled frame residence comprises approximately 672 sq ft of living space. It is supported by a raised concrete-block foundation. The exterior walls are clad in vinyl siding beneath an asphalt-shingle roof. The soffits and fascia boards are clad in vinyl or aluminum. A flat-roofed metal porch extends nearly the entire width of the façade, sheltering the four façade bays. The asymmetrical fenestration of the façade includes two single-leaf entries, one with a

multi-light replacement door. Both entries have aluminum frame storm doors. The southeast façade window is filled with replacement six-over-six-light, double-hung sashes. The three-part bay window located between the two façade entries has replacement sashes. The front porch is supported by decorative metal posts resting on a wood deck and is accessed by wood steps. Two windows are located on the northwest gable end. A modern wood deck surrounding an aboveground swimming pool is located to the rear of the house.

Located to the rear of the residence is a single-story, three-bay (d/d/d), side-gabled frame garage. The garage, oriented to the northwest, appears to rest on a concrete-block or formed-concrete foundation, and the exterior walls are clad in vertical wood panels. The roof is covered in asphalt shingles. The northeast bay along the façade of the garage is a single-leaf entry filled with a replacement door. Two garage bays along the façade have sectional overhead doors.

NRHP Evaluation: Ineligible. The house associated with Site 7 is an unremarkable

example of an early-twentieth-century single-story frame residence with numerous alterations and lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the replacement siding, door, windows, and cladding of the soffits and fascia boards. The porch also does not appear to be 50 years of age. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 7 and events or persons of historical significance. The outbuilding associated with Site 7 lacks integrity and architectural significance and may not be over 50 years of age. Therefore, CRA recommends that Site 7 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A



Figure 18. Site 7 (CP 210): single-story, four-bay, side-gabled frame residence.

## Site 8

KHC Survey #: CP 211

Photographs: Figure 19

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723907 N: 4324568

Property Address: 4674 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: T and R Heating and Air  
Conditioning

11345 South Licking Pike  
Alexandria, KY 41001

Deed Book/Page: 259/550

Construction Date: circa 1910

**Description:** Site 8 (CP 211) consists of a frame house situated on a 0.41-acre residential lot and an adjacent 50-x-140 ft lot on the southwest side of Mary Ingles Highway approximately 2,330 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The residence (Figure 19), oriented to the northeast, sits back approximately 15 ft from the ROW and is accessed from Mary Ingles Highway via a large paved drive/parking lot. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 8 on the 1914 East Cincinnati, Ohio-Kentucky, 15-minute topographic quadrangle (see Figure 11). According to PVA records, the house was constructed circa 1910 (USGS 1914).

The one-and-one-half-story, three-bay (w/d/w), side-gabled frame residence comprises approximately 1,117 sq ft of living space. The foundation material cannot be determined, as most of the siding extends to grade. The exterior walls are clad in vinyl siding beneath an asphalt-shingle roof. The

soffits and fascia boards are clad in vinyl or aluminum. A shed-roofed, enclosed former porch extends along the façade. The three façade bays are along this former porch. The central single-leaf entry is filled with a nine-light replacement door. Flanking the entry are paired windows filled with either storm windows or one-over-one-light, double-hung sashes. Similar windows are located along the southeast elevation of the porch and on the northwest elevation. The former front porch is accessed by a wood deck. Four small windows, essentially paired, are located along the façade's upper story. They are filled with small one-over-one-light, double-hung sashes. Two long, narrow windows are located on both side-gable elevations of the residence, one window on both the first and second stories. It is unclear if these replacement windows are fixed or not. The rear elevation has a shed-roofed section extending the width of the dwelling. The northwest elevation of this shed-roof section has a single bay filled with two windows exhibiting replacement four-over-four-light, double-hung sashes with a spacer between the windows, similar to the upper story façade windows.

Located approximately 65 ft to the rear of the residence is a small single-story, front-gabled garage. This garage is oriented to the northwest.

Located to the south of the residence is a one-story, two-bay (d/d), side-gabled frame garage that may date to the last quarter of the twentieth century. Oriented to the northeast, the southeasternmost façade bay is a single-leaf pedestrian entry filled with a one-light door. The large garage bay to the right of the pedestrian entry has a sectional overhead door. The building appears to be clad in vinyl siding.

Located to the southeast of the larger garage is a small late-twentieth-century prefabricated outbuilding. This frame, gambrel-roofed outbuilding, oriented to the northeast, has a double-leaf entry.



Figure 19. Site 8 (CP 211): one-and-one-half-story, three-bay, side-gabled frame residence.

NRHP Evaluation: Ineligible. The house associated with Site 8 is an unexceptional example of an early-twentieth-century, one-and-one-half-story, side-gabled frame residence with numerous alterations, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the replacement siding, door, windows, and cladding of the soffits and fascia boards. The former front porch appears to have been enclosed within the last 50 years. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 8 and events or persons of historical significance. The three outbuildings associated with Site 8 lack integrity and architectural significance and may not be over 50 years of age. Therefore, CRA recommends that Site 8 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 9

KHC Survey #: CP 212

Photographs: Figure 20

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723931 N: 4324553

Property Address: 4680 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: Delbert Combs  
4680 Mary Ingles Highway  
Cold Spring, KY 41076

Deed Book/Page: 280/589

Construction Date: circa 1935

Description: Site 9 (CP 212) consists of a frame house situated on a 73.62-x-150 ft lot on the southwest side of Mary Ingles Highway approximately 2,415 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The

residence (Figure 20), oriented to the northeast, sits back approximately 25 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive.

A residence is first depicted in the approximate location of Site 9 on the 1952 Newport, Kentucky-Ohio topographic quadrangle. PVA records indicate that the house was built circa 1935 (USGS 1952).

The one-story, three-bay (w/d/w), front-gabled residence comprises approximately 850 sq ft of living space. It is clad in vinyl siding and rests on a raised concrete-block basement foundation. The soffits are clad in vinyl or aluminum. An offset gable-roofed porch shelters two of the façade bays. The central single-leaf entry has a six-light wood-panel door. The two flanking windows have replacement one-over-one-light, double-hung sashes. Similar sashes are found throughout the residence. The porch roof is supported by decorative metal posts resting on a concrete deck. A single-leaf entry is located along the southeast elevation and opens onto a wood deck.

Located approximately 40 ft to the rear of the residence is a single-story, front-gabled

prefabricated outbuilding. The outbuilding, apparently dating to the late twentieth century, has a double-leaf entry.

**NRHP Evaluation:** Ineligible. The house associated with Site 9 is an unexceptional example of a Depression-era, single-story, front-gable residence with numerous alterations, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the replacement siding, windows, and cladding of the soffits. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 9 and events or persons of historical significance. The outbuilding associated with Site 9 does not appear to be over 50 years of age. Therefore, CRA recommends that Site 9 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 20. Site 9 (CP 212): one-story, three-bay, front-gabled frame residence.

## Site 10

KHC Survey #: CP 213

Photographs: Figure 21

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723931 N: 4324553

Property Address: 4686 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: Robert L. and Brenda  
Schwarberg  
4672 Mary Ingles  
Highway  
Cold Spring, KY 41076

Deed Book/Page: 251/484

Construction Date: circa 1932

Description: Site 10 (CP 213) consists of a frame house situated on a residential lot on the southwest side of Mary Ingles Highway approximately 2,500 ft southeast of the

intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The residence (Figure 21), oriented to the southeast, sits back approximately 145 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 10 on the 1952 Newport, Kentucky-Ohio, topographic quadrangle. According to PVA records, the house was built circa 1932 (USGS 1952).

The one-story, three-bay (w/d/w), frame residence comprises approximately 1,120 sq ft of living space and formerly exhibited a T-plan form. A former porch enclosed by a nearly flat roof section forms a single wall plane along the façade. The exterior walls are clad in vinyl or aluminum siding, and the roof is sheathed in asphalt shingles. The asymmetrical façade fenestration includes a single-leaf entry sheltered by a metal awning. Various types of replacement windows are found throughout the dwelling, including one-over-one-light, double-hung sashes and horizontal sliding sashes.



Figure 21. Site 10 (CP 213): one-story, three-bay, frame residence.

NRHP Evaluation: Ineligible. The house associated with Site 10 is an unexceptional example of a single-story, cross-gabled T-plan residence with numerous alterations, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the application of replacement siding, installation of replacement windows, and enclosure of the former porch. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 10 and events or persons of historical significance. Therefore, CRA recommends that Site 10 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 11

KHC Survey #: CP 214

Photographs: Figure 22

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 723972 N: 4324538

Property Address: 4690 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: N/A

Deed Book/Page: N/A

Construction Date: circa 1900–1924

Description: Community Freewill Baptist Church, Site 11 (CP 214), consists of an early-twentieth-century frame building situated on the southwest side of Mary Ingles Highway approximately 2,555 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The church (Figure 22), oriented to the northeast, sits back approximately 35 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive. The property was surveyed from the public ROW.



Figure 22. Site 11 (CP 214): Community Freewill Baptist Church.

The church is first depicted on the 1952 Newport, Kentucky-Ohio, topographic quadrangle. PVA records provided no construction date for the building (USGS 1952).

The one-story, single-bay (d), front-gabled frame church building is supported by a rusticated concrete-block foundation. The rear addition has a foundation composed of typical concrete block. The exterior walls are clad in vinyl siding, and the roof is sheathed in asphalt shingles. The soffits and fascia boards are clad in vinyl or aluminum. The façade fenestration includes a double-leaf entry with replacement doors accessed by concrete steps. Five bays are located along each side elevation. Five windows are located along the northwest elevation and four along the southeast elevation. The windows all have replacement one-over-one-light, double-hung sashes. A single-leaf entry with a replacement door is found on the southeast elevation, and it opens onto a small wood deck with a wood ramp. An exterior brick chimney is also found on the southeast elevation. A small, square, hip-roofed steeple clad in vinyl siding caps the roof's ridgeline at the front of the building.

**NRHP Evaluation:** Ineligible. The *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* states that under Criterion Consideration A “A religious property requires justification on architectural, artistic, or historic grounds to avoid any appearance of judgment by government about the validity of any religion or belief” (National Park Service 1990:26). The Community Freewill Baptist Church (Site 11) exhibits a number of alterations, including the replacement windows, replacement doors, vinyl siding, wrapped window surrounds, and replacement clad soffits and fascia boards. The alterations to the building compromise the historic qualities of design, materials, workmanship, and feeling necessary to convey its significance. Archival research indicated no association between Site 11 and events or persons of historical significance. Therefore, CRA recommends that Site 11 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 12

KHC Survey #: CP 215

Photographs: Figure 23

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 724090 N: 4324477

Property Address: 4720 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: CAM Properties, LLC  
P.O. Box 5285  
Oak Brook, IL 60522

Deed Book/Page: 263/257

Construction Date: circa 1950

**Description:** Site 12 (CP 215) consists of a commercial building situated on a 3.0-acre tract on the southwest side of Mary Ingles Highway approximately 3,025 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The commercial building (Figure 23), oriented to the northeast, sits back approximately 70 ft from the ROW and is accessed from Mary Ingles Highway via a paved parking lot. The property was surveyed from the public ROW.

A building is first depicted in the approximate location of Site 12 on the 1952 Newport, Kentucky-Ohio topographic quadrangle. The two-story, five-bay (d/w/d/d/d), flat-roofed commercial building with a large rear addition was constructed circa 1950, per PVA records (USGS 1952).

The foundation material could not be determined because the walls appear to be covered in stucco or a parge coating that extends to grade. The first floor of the façade is comprised of five bays. The leftmost bay is filled with a double-leaf entry. This entry is part of an apparent shed-roof addition that contains a stairway to the second floor of the

building. The stairway may originally have been on the exterior of the building, but this is speculative. Continuing to the northwest along the façade, there is a window with a replacement single-light sash, a single-leaf entry with a single-light replacement door sheltered by an awning, and two garage entries with replacement overhead doors. Three windows with single-light replacement fixed sashes are located along the façade's second story. A faux mansard roof clad in wood shingles extends across the façade's roof parapet and across the southeast elevation at the top of the shed-roof enclosed stairway addition. The northeast elevation of the building has five windows, each apparently filled with a different type of sash. Two windows appear to retain original metal sashes along this elevation. Only one window, filled with replacement one-over-one sashes, appears to be located on the southeast elevation of the building. A small, flat-roofed projection is also located on the southeast elevation adjacent to the enclosed stairway addition.

Attached to the rear of the building, at a lower grade than the original portion of the

commercial building, is a large, nearly flat-roofed addition clad in metal panels. Two large garage bays filled with metal overhead doors are located along the southeast elevation of this addition.

Located to the northeast of the commercial building is a flat-roof gasoline station canopy supported by two metal posts. The canopy shelters at least four gasoline pumps, although they do not appear to currently be in operation.

A second commercial building is also located on the tract. This additional commercial building, located to the southeast of the original building, has a much larger footprint than the original building and its addition. This gable-roof building has two single-light windows and a double-leaf entry along its northeast elevation, which faces Mary Ingles Highway. A number of large vehicular bays are found along the northwest elevation. This second commercial building does not appear on the Newport, KY-OH 1983 (Photorevised 1987) topographic map (USGS 1983).



Figure 23. Site 12 (CP 215): two-story, five-bay, flat-roofed commercial building.

NRHP Evaluation: Ineligible. The original commercial building associated with Site 12 is an unexceptional example of a mid-twentieth-century roadside commercial building. Modifications to this commercial building include the shed-roofed stairway addition, replacement windows and doors, the addition of the faux mansard roof, and the large garage addition to the rear elevation of the original portion of the building. These alterations have compromised the building's integrity of design, materials, and workmanship. Site 12 is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 12 and events or persons of historical significance. Neither the second commercial building nor the gas station canopy is over 50 years of age. Therefore, CRA recommends that Site 12 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 13

KHC Survey #: CP 216

Photographs: Figure 24

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 724202 N: 4324450

Property Address: 4744 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: Clifford, Jr., and Darlene  
Johnston

Deed Book/Page: 150/268

Construction Date: circa 1910

Description: Site 13 (CP 216) consists of a frame house situated on a 90-x-503.25 ft residential lot on the southwest side of Mary Ingles Highway approximately 3,390 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The residence (Figure 24), oriented to the northeast, sits back approximately 24 ft from the ROW and is accessed from Mary Ingles Highway via a drive. The property was surveyed from the public ROW.



Figure 24. Site 13 (CP 216): one-and-one-half-story, three-bay, side-gabled frame residence.

A residence is first depicted in the approximate location of Site 13 on the 1914 East Cincinnati, Ohio-Kentucky, 15-minute topographic quadrangle (see Figure 11). PVA records indicate that the residence was constructed circa 1910 (USGS 1914).

The one-and-one-half-story, three-bay (w/d/w), side-gabled residence comprises approximately 1,960 sq ft of living space. The foundation is composed of rusticated concrete blocks, although the rear portion of the house appears to be supported by a concrete-block or poured-concrete foundation. The exterior walls are clad in vinyl siding beneath an asphalt-shingle roof. The soffits and fascia boards are clad in vinyl or aluminum. A gable-roofed porch shelters the three first-floor bays of the façade. The central single-leaf entry is filled with a panel door set behind a full-light aluminum-frame storm door. A picture window with four-light sidelights is located southeast of the entry, and to the right of the entry is a window with replacement one-over-one-light, double-hung sashes. Similar sashes fill the windows of the side elevations of the dwelling. The porch is supported by decorative metal posts resting on a concrete deck. The porch foundation is composed of rusticated concrete block. A long wood ramp extends from the northwest elevation of the porch to the drive at the rear of the house. The small upper-story façade windows are filled with replacement six-over-six-light, double-hung sashes. A single-story, shed-roofed section spans the rear elevation. This section, which appears to rest on a concrete basement foundation, has windows on both side elevations. A second shed-roof section is located along the rear elevation of the previous shed-roof section. An exterior concrete-block chimney is found on the northwest elevation of the dwelling.

Located approximately 60 ft to the rear of the residence is a single-story, two-bay, front-gabled garage. This garage, oriented to the northwest, has a pedestrian door and a large vehicular bay filled with a metal overhead garage door. The garage is clad in metal panels and has a metal roof. This garage does not appear to be over 50 years of age.

**NRHP Evaluation:** Ineligible. The house associated with Site 13 is an unexceptional example of an early-twentieth-century, one-and-one-half-story, side-gabled frame residence with numerous alterations, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the replacement siding, windows, and cladding of the soffits and fascia boards. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 13 and events or persons of historical significance. The garage associated with Site 13 does not appear to be over 50 years of age. Therefore, CRA recommends that Site 13 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 14

**KHC Survey #:** CP 217

**Photographs:** Figure 25

**Map:** Figures 2a and 3a

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

**UTMs:** E: 724232 N: 4324426

**Property Address:** 4748 Mary Ingles Highway  
Cold Spring, KY 41076

**Owner Information:** Paul E. and Denise Dennis  
P.O. Box 403  
Silver Grove, KY 41085

**Deed Book/Page:** 227/93

**Construction Date:** circa 1900

**Description:** Site 14 (CP 217) consists of a frame house situated on a 1.49-acre lot on the southwest side of Mary Ingles Highway approximately 3,500 ft southeast of the intersection of Mary Ingles Highway and

Industrial Road (see Figures 2a and 3a). The residence (Figure 25), oriented to the northeast, sits back approximately 70 ft from the ROW and is accessed from Mary Ingles Highway via a drive. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 14 on the 1900 East Cincinnati, Ohio–Kentucky, 15-minute series topographic quadrangle (see Figure 10). According to PVA records, the house was built circa 1900 (USGS 1900).

The one-story, four-bay (w/d/w/w), side-gabled residence comprises approximately 2,341 sq ft of living space. The foundation material is obscured since the vinyl siding of the exterior walls extends nearly to grade. The roof is sheathed in asphalt shingles. An offset gable-roofed vestibule projects from the façade wall plane and contains a single-leaf entry filled with a replacement door set behind a two-light storm door. This entry opens onto a wood porch with a wood deck and railing. Flanking the projecting vestibule are paired windows with replacement one-over-one-light, double-hung sashes. Similar replacement sashes are found throughout the dwelling. From the ridgeline of the roof, the northwest portion of the façade appears to be a

later addition. The asymmetrical gable roof, visible along the southeast gable end, indicates that additions—possibly over 50 years of age—have been made to the rear elevation. A shed-roofed addition is also visible along the rear elevation. A brick chimney pierces the southwest roof slope.

**NRHP Evaluation:** Ineligible. The house associated with Site 14 is an unexceptional example of an early-twentieth-century, single-story, side-gabled frame residence with numerous alterations, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the replacement siding, windows, and door. These alterations, and additions possibly constructed within the last 50 years, have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 14 and events or persons of historical significance. Therefore, CRA recommends that Site 14 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 25. Site 14 (CP 217): one-story, four-bay, side-gabled residence.

## Site 15

KHC Survey #: CP 218

Photographs: Figure 26

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 724265 N: 4324421

Property Address: 4760 Mary Ingles Highway  
Cold Spring, KY 41076

Owner Information: William L. and Diana M.  
Fink

Deed Book/Page: 215/664

Construction Date: circa 1920

**Description:** Site 15 (CP 218) consists of a frame house situated on a 0.5-acre lot on the southwest side of Mary Ingles Highway approximately 3,625 ft southeast of the intersection of Mary Ingles Highway and Industrial Road (see Figures 2a and 3a). The residence (Figure 26), oriented to the northeast, sits back approximately 45 ft from the ROW and is accessed from Mary Ingles Highway via a gravel drive. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 15 on the 1952 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. The house was built circa 1920, according to PVA data (USGS 1952).

The one-story, four-bay (w/d/w/w), front-gabled frame residence comprises approximately 716 sq ft of living space. A rusticated concrete-block foundation supports the residence, which is clad in vinyl siding. The roof is sheathed in asphalt shingles. A gable-roofed projection along the southeast portion of the façade contains an offset single-leaf entry with a replacement nine-light door set behind a storm door. This entry opens onto a small porch with a wood deck and railing. The porch is also accessed by a wood ramp

and steps. A window with two one-light, horizontal sliding replacement sashes is located to the left of the entry, and a narrow, small window is located to the right of the entry. Replacement double-hung and horizontal sliding sashes fill the windows along the façade and southeast elevations. A shed-roofed addition is located along the rear elevation. A brick chimney pierces the southeast roof slope.

A prefabricated shed located to the rear of the dwelling was visible from the ROW. Aerial photographs may depict a second outbuilding to the northwest of the first.

**NRHP Evaluation:** Ineligible. The house associated with Site 15 is an unremarkable example of an early-twentieth-century, single-story, front-gabled frame residence with numerous alterations, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the replacement siding, windows, and door. These alterations, and possibly an addition within the last 50 years, have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 15 and events or persons of historical significance. The documented outbuilding associated with Site 15 does not appear to be over 50 years of age. Therefore, CRA recommends that Site 15 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 26. Site 15 (CP 218): one-story, four-bay, front-gabled frame residence.

## Site 16

KHC Survey #: CP 94

Photographs: Figures 27–29

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 724996 N: 4324291

Property Address: 4936 Mary Ingles Highway

Silver Grove, KY 41085

Owner Information: Timothy E. Cain

P.O. Box 234

Silver Grove, KY 41085

Deed Book/Page: 286/47

Construction Date: circa 1912

**Description:** The Dutle Inn (Site 16 [CP 94]) is an early-twentieth-century commercial building (Figure 27) located on a 10.48-acre parcel on the south side of Mary Ingles Highway approximately 425 ft east of its intersection with Messer Road (see Figures 2a and 3a). It is oriented to the northeast and sits back approximately 10 ft from the ROW along Mary Ingles Highway. A gravel driveway trends southwest from the highway along the northwest side of the building and terminates in a gravel lot to its rear. The property was surveyed from the public ROW.

Site 16 was previously documented by KHC personnel during the 1979 countywide survey. However, KHC records indicate that the NRHP eligibility of the property has not yet been determined (KHC survey and NRHP files).



Figure 27. Site 16 (CP 94): Dutle Inn.

A building is first depicted in the approximate location of Site 16 on the 1914 East Cincinnati, Ohio–Kentucky, 15-minute series topographic quadrangle (see Figure 11). According to KHC records, the building was erected circa 1912, and its 11 upper-level rooms were rented to employees of the adjacent Stevens railroad yard, which was completed that same year. Depicted west of the building on the 1914 quadrangle is a racetrack, which appears to have been in operation during the years in which Ohio state law prohibited betting, resulting in the closure of the nearby Oakley Race Course, a well known thoroughbred track. Considering the building’s apparent proximity to the racecourse and relative distance to the then nascent community of Silver Grove, it is plausible that the inn may have also served track patrons arriving via the adjacent C&O railway. The building is now a retail paintball facility (KHC survey and NRHP files; Prout 2012; USGS 1914).

The two-story, six-bay (w/d/w/w/d/w), brick commercial building includes approximately 4,072 sq ft of floor space within its rectangular plan. It has a stretcher-bond brick exterior and rests on a continuous rusticated concrete-block foundation. The building’s roof, which discrepancies in the masonry of the southeast and northwest elevations indicate was raised at some point, features a parapet wall crowned with an Italianate-inspired bracketed cornice above the façade elevation (Figure 28). A single-story, hip-roofed porch with battered, boxed wood columns supported by brick piers shelters both single-leaf façade entries and the windows between them. Secondary single-leaf entries on the southeast elevation open onto a wood deck of recent construction. Projecting from the northwest elevation is a single-story, shed-roofed frame addition clad in vinyl siding (Figure 29). The building’s entry and window bays feature stone lintels and sills. The pedestrian entries on the façade and southeast elevations have half-light and multi-light replacement doors and glass-block transoms.



Figure 28. Site 16: façade elevation of commercial building.



Figure 29. Site 16: façade and northwest elevations.

Lower-level windows have one-over-one-light, double-hung replacement sashes, while their upper-level counterparts retain their one-over-one-light, double-hung wood sashes. The central upper-level façade window bay features two windows separated by a decorative molded panel. Interior brick chimneys are located atop the southeast and northwest elevations.

Approximately 80 ft south of the commercial building is a frame gazebo, and a prefabricated metal storage building is located in a gravel lot approximately 100 ft to the southeast. Both appear to be of late-twentieth-century construction.

**NRHP Evaluation:** Ineligible. Archival research suggests historical associations between the Dutle Inn (Site 16), the C&O Railroad, and possibly the racetrack depicted on the 1914 quadrangle, but it revealed no definitive evidence that the inn's presence had a dramatic and permanent effect on the flow of people and development into the region or on the economic stability of Silver Grove in the early twentieth century. Furthermore, demolition of the railyard and racecourse has compromised the building's integrity of association and setting with regard to both. Research also revealed no evidence to suggest that the inn's proprietor was an individual of particular significance within the community of Silver Grove, and the inn is not associated with any other events or people of historic significance. The Dutle Inn is a typical example of early-twentieth-century commercial architecture that lacks distinctive architectural characteristics. Its form, massing, and architectural details—including its Italianate-inspired cornice—are common attributes associated with commercial buildings of the period, hundreds of which are found in commercial districts in towns and cities located throughout the state. Furthermore, modifications to the building, including the northwesterly frame addition and the installation of replacement doors and window sashes, have diminished its integrity of design, materials, and workmanship. Consequently, CRA recommends that Site 16

is ineligible for inclusion in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 17

**KHC Survey #:** CP 220

**Photographs:** Figure 30

**Map:** Figures 2a and 3a

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

**UTMs:** E: 725155 N: 4324249

**Property Address:** 4982 Mary Ingles Highway  
Silver Grove, KY 41085

**Owner Information:** Jeffrey D. Farris

P.O. Box 408

Silver Grove, KY 41085

**Deed Book/Page:** 215/371

**Construction Date:** circa 1960

**Description:** Site 17 (CP 220) consists of a commercial building situated on the southwest side of Mary Ingles Highway approximately 1,350 ft northwest of the intersection of Mary Ingles Highway and Ash Street (see Figures 2a and 3a). The commercial building (Figure 30), oriented to the northeast, sits back approximately 35 ft from the ROW and is accessed from Mary Ingles Highway via a paved parking lot. The property is currently utilized by Silver Grove Motors and was surveyed from the public ROW.

A building appears to first be depicted in the approximate location of Site 17 on the 1983 Newport, Kentucky–Ohio, 7.5-minute series topographic quadrangle. The owner estimates that it was constructed circa 1960 (personal communication 2012; USGS 1983).

This is a one-story, four-bay (d//d/d/w), flat-roofed, concrete-block commercial building with a faux mansard roof sheathed in asphalt shingles. The concrete-block exterior extends to grade. The building may have originally served as a gasoline station. The

southeast two bays of the façade are garage bays filled with metal overhead doors. Near the northwest corner of the façade is a single-leaf entry filled with a replacement aluminum-frame commercial door. Adjacent to the entry is a window filled with three fixed aluminum-frame replacement sashes. A window filled with similar sashes is located on the northwest elevation of the building along with two single-leaf entries with replacement doors (possibly originally accessing restrooms) and a garage bay with a replacement overhead door. The southeast elevation of the building has a window located near the soffit of the faux mansard roof. This window is filled with glass blocks.

Located to the southeast of the circa 1960 building is a later building with a large addition to the rear. This building does not appear to be over 50 years old, and it appears as a revision to the Newport, KY-OH 1983 (Photorevised 1987) topographic map. This later commercial structure is a single-story, front-gabled, concrete-block building with windows and pedestrian entries along the façade, which is oriented to the northeast toward Mary Ingles Highway. The northwest

elevation has three garage bays. The addition is taller than the original block and exhibits three large garage bays (USGS 1983).

**NRHP Evaluation:** Ineligible. The original commercial building associated with Site 17 is an unremarkable example of a mid-twentieth-century roadside commercial building probably originally serving as a gasoline station. Modifications to this commercial building include the addition of the faux mansard roof and the installation of replacement windows and doors. These alterations have compromised the building's integrity of design, materials, and workmanship. Site 17 is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 17 and events or persons of historical significance. The second commercial building is not over 50 years of age. Therefore, CRA recommends that Site 17 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 30. Site 17 (CP 220): one-story, four-bay, flat-roofed, concrete-block commercial building.

## Site 33

KHC Survey #: CP 200

Photographs: Figures 31 and 32

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 725517 N: 4324057

Property Address: Ash Street

Silver Grove, KY 41085

Owner Information: Sanitation District Number 1

1045 Eaton Drive

Fort Wright, KY 41017

Deed Book/Page: 298/226

Construction Date: 1936

**Description:** Site 33 (CP 200) is a defunct reinforced-concrete sewage pumping station (Figure 31) located on a .11-acre parcel on the west side of Ash Street approximately 405 ft south of its intersection with Mary Ingles Highway (see Figures 2a and 3a). It is sited on the floodplain south of the Ohio River.

The pump station is first depicted on the 1952 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. Funded by bond issue and erected by the WPA in 1936, the sewage treatment facility served Silver Grove and discharged into the Ohio River until its function was taken over by the SD-1 Silver Grove pump station in 1965 (Daniels 2003:28; USGS 1952).

The pump station exhibits a raised concrete form, elevating it above Ohio River flood levels. The form, measuring approximately 21-x-15 ft, is nearly rectangular, with a narrow platform extending southward from the primary mass. Walls are exposed, smooth-finished concrete. A tooled concrete coping course caps the structure. The pedestrian-level walls have been painted to conceal graffiti. As depicted in a historical photograph of the structure, a metal staircase characterized by a short ground-level flight and

long return flight was initially bolted to the east elevation, providing access to the raised platform. The stairwell exhibited a double handrail of rolled metal tubing (Kentuckiana Digital Library 2008). Fronting the wall space historically located at the stair landing is a rectangular cast-metal sign stating “CONSTRUCTED IN COOPERATION WITH THE WORKS PROGRESS ADMINISTRATION IN KENTUCKY 1936.”

The elevated platform leads to a single-leaf pedestrian entry enclosed by a steel door with riveted bracing plates. Embedded in the concrete structural walls and projecting southward from above the entry is a steel girder supported at the terminus of the platform by an integrated steel bracing arm, which extends through the façade wall. It is not evident from the exterior if the girder was used as a lift winch or if it served as a portion of the interior mechanism’s framework.

The east and west elevations each exhibit a single opening at the platform level (Figure 32). Each is secured by a steel grate exhibiting 16 gridded divisions. From historical photographs, it appears that the outer grid historically held a semi-transparent material, while the inner six blocks remained open. The north elevation is punctuated by one rectangular opening, which is secured by a 12-block steel grid.

**NRHP Evaluation:** Ineligible. Although Campbell County is not geographically within the New Deal era context *The New Deal Builds: A Historic Context of the New Deal in East Kentucky, 1933 to 1943*, the context still provides a general framework for sewage treatment facilities constructed

by the Works Progress Administration. According to the context, the “construction of sewer treatment facilities was considered essential to the preservation of public well-being throughout the New Deal Era” (Kennedy and Johnson 2005:146). Government projects of the era helped revitalize existing systems and install systems where they had not previously existed. The context, however, did not set eligibility or integrity thresholds for water treatment facilities, primarily because enough intact examples could not be located.



Figure 31. Site 33 (CP 200): WPA-constructed reinforced-concrete pump station.



Figure 32. Site 33: north and west elevations of pump station.

NRHP-listed WPA-built utility structures are few in number and typically exhibit details associated with architectural styles of the period. Constructed by the WPA in 1938, the Hibbing Disposal Plant in Hibbing, Minnesota; the Verde Park Pump House in Phoenix, Arizona; and the Paradise Water Tower in Paradise, Kansas, exhibit Modern, Period Revival, and Art Deco details, respectively (NPS 2012).

The historical integrity of the pumping station associated with Site 33 has been compromised by the removal of the exterior staircase, which was one of the few character-defining features of the utilitarian structure. Vandalism and subsequent painting of portions of the structure have further compromised its integrity and its exposed concrete structural walls. In addition, the structure is largely utilitarian and void of the stylistically-indicative details that characterize many architecturally significant WPA-era structures. It does not distinguish itself from other utilitarian structures of the period in design or innovation. As such, Site 33 is not eligible for listing in the NRHP under Criterion C. Likewise, although the structure is an example of New Deal-era investment in the community, it does not rise to the level of significance warranting NRHP eligibility under Criterion A. It appears to be a typical example of improvements in community planning and infrastructure upgrades during the period and does not reflect innovative or influential practices that represent distinguished significance. Research has indicated no association with a significant architect or engineer, so the structure does not appear to be eligible for inclusion in the NRHP under Criterion B. Therefore, CRA recommends that Site 33 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A.

## Site 35

KHC Survey #: CP 238

Photographs: Figures 33 and 34

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 725678 N: 4323893

Property Address: 122 West Second Street  
Silver Grove, KY 41085

Owner Information: Silver Grove Christian Church  
P.O. Box 430  
Silver Grove, KY  
41085

Deed Book/Page: N/A

Construction Date: circa 1917

Description: Silver Grove Christian Church (Site 35 [CP 238]) is situated on the southeast corner of the intersection of West Second and Oak Streets (see Figures 2a and 3a). The church (Figure 33) is oriented to the northeast and sits back approximately 20 ft from the ROW along West Second Street. The property was surveyed from the public ROW along West Second and Oak Streets.

This church is first depicted in the approximate location of Site 35 on the 1952 Newport, Kentucky-Ohio, topographic quadrangle. According to the church's current pastor, Robert Brown, the building dates to circa 1917 (personal communication 2012; USGS 1952).

The church is a one-story, five-bay (w/w/w/w/d), side-gabled building with a gable-roofed façade projection and a brick exterior. It is supported by a raised-concrete basement foundation. The exterior walls are clad in brick, and the roof is sheathed in asphalt shingles. The soffits are clad in vinyl or aluminum. The off-center front-gable projection along the façade has three window

bays: a ribbon of three windows flanked by single window openings. The window bays feature brick soldier courses and square stone decorative elements. A ribbon of three Gothic arched windows within a segmental arch is found near the peak of the gable. All of the windows are filled with stained glass, and most have double-hung sashes, except for the two center windows. Similar, though larger, windows filled with double-hung, stained glass sashes are found throughout the building. The southeast elevation of the façade projection has a shed-roofed dormer filled with a ribbon of three windows. A square bell tower is located in the northwest corner of the building's façade. This brick bell tower has three stained glass windows and is capped by a wood belfry with Gothic-arched louvered vents and pyramidal finials topped by spheres. A flat-roofed façade porch supported by wood brackets shelters the double-leaf entry into the church through the bell tower. This entry has replacement nine-light doors. Both the

southeast and northwest elevations feature large Gothic-arched windows with tracery and stained glass, which are flanked by narrower stained glass windows. A shed-roofed section partially clad in vinyl provides exterior access to the basement. This section is located on the southeast corner of the façade.

A large side-gabled addition is located to the rear of the church (Figure 34). This addition was constructed in the 1970s, according to Pastor Robert Brown (personal communication 2012). A section approximately 20 ft in width connects the rear of the church to the addition. The addition has a concrete foundation and is clad almost entirely in vinyl siding. A portion of the northwest end of the addition is clad in brick and extends above the roofline of the remaining portion of the structure, providing a skylight to this end of the addition. The footprint of the addition is approximately the same size as the original block of the church.



Figure 33. Site 35 (CP 238): Silver Grove Christian Church.



Figure 34. Site 35 (CP 238): northwest and rear elevations of church and addition.

**NRHP Evaluation:** Ineligible. The *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* states that under Criterion Consideration A, “A religious property requires justification on architectural, artistic, or historic grounds to avoid any appearance of judgment by government about the validity of any religion or belief” (National Park Service 1990:26). Alterations to the Silver Grove Christian Church (Site 35) include replacement doors, vinyl- or aluminum-clad soffits, and most notably, the large rear addition. The addition nearly doubles the footprint of the building, and its circa 1970s materials, massing, and design are not sympathetic to the early-twentieth-century portion of the building. These modifications compromise the historic qualities of design, materials, workmanship, and feeling necessary to convey its significance. Archival research indicated no association between Site 35 and events or persons of historical significance. Therefore, CRA recommends that Site 35 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 43

**KHC Survey #:** CP 246

**Photographs:** Figure 35

**Map:** Figures 2a and 3a

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

**UTMs:** E: 725588 N: 4323924

**Property Address:** 210 West Second Street

Silver Grove, KY 41085

**Owner Information:** Mary Lou Kroger and Charles C. Alley

P.O. Box 548

Silver Grove, KY 41085

**Deed Book/Page:** 224/601

**Construction Date:** circa 1956

**Description:** Site 43 (CP 246) consists of a Ranch house located on a 100-x-158 ft lot on the southwest side of West Second Street approximately 220 ft northwest of its intersection with Oak Street (see Figures 2a and 3a). The residence (Figure 35) is oriented to the northeast and sits back approximately 25 ft from the sidewalk. Site 43 was documented from the public ROW.

A residence is first depicted in the approximate location of Site 43 on the 1961 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. According to PVA records, the house was constructed circa 1956 (USGS 1961a).

The residence is a one-story, five-bay (d/w/w/w/w), front-gabled frame Ranch house. The house has a concrete foundation, and the exterior walls of the side elevations are clad in asbestos shingles. The roof has a low-pitched slope. The façade gable and the southeastern portion of the façade are clad in vinyl siding. The area below the façade windows is clad in brick veneer. The southeastern portion of the façade has been enclosed with vinyl siding and a single-leaf

entry. It may have originally served as a carport, although this is speculative. The entry has a modern panel door with a decorative light. To the right of the façade entry is a ribbon of four windows filled with large, fixed central sashes flanked by narrower sashes. A single-leaf entry is located on the northwest elevation near its shared corner with the façade elevation. This entry has an aluminum-frame storm door.

**NRHP Evaluation:** Ineligible. Ranch houses similar to the one at Site 43 have been designated by the Georgia Historic Preservation Division as “Contemporary Ranch” houses. Attributes of the Contemporary Ranch house include overhanging eaves, plate-glass windows, sliding patio doors, the use of varying materials on the exterior of the residence, exposed beams, and the employment of voids and solid surfaces in the exterior design of the house. Contemporary Ranch designs can be first attributed to the 1930s concepts of southwestern Ranch houses and Usonian houses developed by Frank Lloyd Wright (Georgia Historic Preservation Division 2010).



Figure 35. Site 43 (CP 246): one-story, five-bay, front-gabled frame Ranch house.

The house associated with Site 43 is an unexceptional example of a mid-twentieth-century Contemporary Ranch residence with numerous alterations, and it lacks extraordinary architectural details. Alterations to the residence include the replacement siding, door, and possible enclosure of the original carport. These modifications to the house and the use of non-compatible replacement materials have compromised its integrity of design, materials, and workmanship. The residence is not an outstanding example of a Contemporary Ranch, and archival research indicated no association between Site 43 and events or persons of historical significance. Therefore, CRA recommends that Site 43 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 53

KHC Survey #: CP 256

Photographs: Figure 36

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 725416 N: 4323935

Property Address: 2817 Ash Street

Silver Grove, KY 41085

Owner Information: Richard E. Oplinger

384 Indian Pointe Drive

Maineville, OH 45039

Deed Book/Page: 282/137

Construction Date: circa 1957

Description: Site 53 (CP 256) consists of a frame residence located at the corner of Ash and West Second Streets (see Figures 2a and 3a). The residence (Figure 36) is oriented to the east and sits back approximately 230 ft from Ash Street. It is accessed via an asphalt drive extending from the south side of West Second Street.



Figure 36. Site 53 (CP 256): two-story, three-bay, front-gabled concrete-block and frame residence.

A residence is first depicted in the approximate location of Site 53 on the 1961 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. According to PVA records, the house was built circa 1957 (USGS 1961a).

The first floor of the two-story, three-bay (w/d/w), front-gabled dwelling is constructed of concrete block, while the upper story is frame clad in asbestos shingles. The roof is sheathed in asphalt shingles. The gabled roof extends beyond the façade wall plane, creating an integral two-story stacked porch. Both the first and second stories of the façade have central single-leaf entries flanked by windows. The doors of the entries are set behind aluminum storm doors. Four of the façade windows are filled with twelve-light fixed sashes, while one window has replacement single-light horizontal sliding sashes. The porch is supported by boxed wood columns and exhibits wood railings. The first-floor porch has a concrete deck, while the upper porch has a wood deck. Window bays on the north and south elevations exhibit various types of sashes, including twelve-light and horizontal sliding sashes similar to those on the façade; a picture window with two-over-two, double-hung sidelights; horizontal two-over-two, double-hung sashes; and two-light fixed sashes. The rear elevation has a single-leaf entry and windows with horizontal sliding sashes. A brick chimney pierces the north slope of the roof.

Located approximately 45 ft west of the dwelling is a single-story, front-gabled, two-bay garage constructed of concrete block. Oriented to the north, the garage bays are filled with replacement metal overhead sectional doors. The north gable of the garage is clad in vertical wood panels, and the roof is sheathed in asphalt shingles. A gable-roofed shed is located to the rear of the garage.

**NRHP Evaluation:** Ineligible. The house associated with Site 53 is an example of a mid-twentieth-century, two-story, front-gabled residence, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Additionally,

the installation of various types of replacement window sashes has diminished the dwelling's integrity of materials and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 53 and events or persons of historical significance. The outbuildings associated with the residence do not appear to be over 50 years of age. Therefore, CRA recommends that Site 53 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 54

**KHC Survey #:** CP 257

**Photographs:** Figure 37

**Map:** Figures 2a and 3a

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

**UTMs:** E: 725567 N: 4323858

**Property Address:** 209 West Third Street

Silver Grove, KY 41085

**Owner Information:** Don and Nancy C. Chandler

P.O. Box 129

Silver Grove, KY  
41085

**Deed Book/Page:** 226/308

**Construction Date:** circa 1957

**Description:** Site 54 (CP 257) consists of an American Small House located on the north side of West Third Street approximately 270 ft northwest of its intersection with Oak Street (see Figures 2a and 3a). The residence (Figure 37) is oriented to the southwest and sits back approximately 40 ft from the street. A gravel drive provides vehicular access to the dwelling, which was surveyed from the public ROW.



Figure 37. Site 54 (CP 257): one-story, three-bay, side-gabled American Small House.

A residence is first depicted in the approximate location of Site 54 on the 1955 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. However, PVA records indicate that the residence was built circa 1957 (USGS 1955).

Site 54 is a one-story, three-bay (w/d/w), side-gabled dwelling. The foundation material could not be determined, and the exterior walls are clad in Bedford-stone veneer. The roof is sheathed in asphalt shingles. The façade's off-center single-leaf entry has an unglazed door set behind an aluminum frame storm door. The entry opens onto a wood porch with wood railings that appears to have been constructed within the last 20 years. Windows flank the façade entry: to the right the window is filled with one-over-one-light, double-hung sashes, and to the left is a three-light picture window. The windows have Bedford-stone sills. A single-leaf entry also appears to be located on the northwest gable end. A small wood porch with wood railings is located along the northwest elevation of the residence. This porch, which appears to date to

the construction of the front porch, is accessed by a wood ramp. A vent or chimney, currently covered in plastic, pierces the rear roof slope.

Two outbuildings are associated with the dwelling. Located to the immediate northwest of the residence is a front-gable, frame garage oriented to the southwest. The façade gable is clad in vinyl siding, and exposed vertical wood boards are visible along the right side of the front of the garage. Much of the garage's façade was obscured by vehicles parked in the driveway.

A second outbuilding is not visible from the street but is indicated on an aerial map. This second outbuilding is located approximately 20 ft to the northeast of the rear of the residence. No other information could be gleaned from the aerial map.

**NRHP Evaluation:** Ineligible. Modest houses similar to the residence associated with Site 54 have been referred to by many names, including minimal traditional, but as described by the Georgia Historic Preservation Division, they are perhaps most accurately described as

the “American Small House,” a house type constructed from the 1930s to 1950s to address the increased demand for housing and to meet Federal Housing Administration (FHA) minimum standards. The American Small House represents the predominant house type constructed in the United States in the mid-twentieth century. As such, examples must demonstrate exceptional significance and integrity in order to be recommended as eligible for listing in the NRHP (Georgia Historic Preservation Division 2008).

The residence associated with Site 54 is a typical example of an American Small House, exhibiting a compact rectangular plan with a side-gabled roof. However, the residence lacks distinctive architectural details, and the addition of the front and side porches to the house has altered its original design. Archival research indicated no association between Site 54 and events or persons of historical significance. The outbuildings associated with the property are common and well documented building forms dating to the second half of the twentieth century, and they lack architectural details that might otherwise lead to their architectural significance. Therefore, CRA recommends that Site 54 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 55

KHC Survey #: CP 258

Photographs: Figure 38

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 725538 N: 4323869

Property Address: 215 West Third Street

Silver Grove, KY 41085

Owner Information: Matthew and Heather Mitchell

P.O. Box 157

Silver Grove, KY  
41085

Deed Book/Page: 287/849

Construction Date: circa 1955

**Description:** Site 55 (CP 258) consists of a split-level house located on a 100-x-158 ft lot on the northeast side of West Third Street approximately 325 ft northwest of its intersection with Oak Street (see Figures 2a and 3a). The residence (Figure 38) is oriented to the southwest and sits back approximately 50 ft from the street. A concrete drive provides vehicular access to the dwelling.

A residence is first depicted in the approximate location of Site 55 on the 1955 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. PVA records indicate that the residence was constructed circa 1955 (USGS 1955).

The split-level, four-bay (w/w/d/d), side-gabled frame house has four bedrooms and a single bathroom and comprises approximately 2,160 sq ft of living space. The poured-concrete foundation supports the southeast portion of the house, while the northwest section of the dwelling rests on a concrete-block foundation. The exterior walls are clad in vinyl siding. The side-gabled roof is sheathed in asphalt shingles. The façade’s off-center single-leaf entry is located at grade and opens directly onto the concrete drive. The entry has a replacement metal panel door. To the right of the pedestrian entry is a vehicular entry filled with a replacement sectional overhead door. Both entries are located in the poured-concrete section of the dwelling’s foundation. Above the façade entry and garage, the upper portion of the house extends slightly beyond the wall plane of the foundation. The southeast section of the residence, supported by the poured-concrete foundation, appears to be a late-twentieth-century addition. The windows of the upper level are filled with replacement six-over-six- or nine-over-nine-light, double-hung sashes. Two windows are located on the southeast gable end. A brick chimney pierces the front roof slope of the residence.



Figure 38. Site 55 (CP 258): four-bay, side-gabled, split-level frame house.

**NRHP Evaluation:** Ineligible. The house associated with Site 55 is an unexceptional example of a mid-twentieth-century split-level house that lacks extraordinary architectural details. Alterations to the residence, including the replacement siding, windows, and door, have diminished its integrity of materials and workmanship. The residence is not an outstanding example of a split-level Ranch house, and archival research indicated no association between Site 55 and events or persons of historical significance. Therefore, CRA recommends that Site 55 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 63

**KHC Survey #:** CP 266

**Photographs:** Figure 39

**Map:** Figures 2a and 3a

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

**UTMs:** E: 725551 N: 4323705

**Property Address:** 208 West Fourth Street

Silver Grove, KY 41085

**Owner Information:** Peggy A. and Maurice P. Hehman III

P.O. Box 233

Silver Grove, KY 41085

**Deed Book/Page:** 277/506

**Construction Date:** circa 1954

**Description:** Site 63 (CP 266) consists of a residence located on a 50-x-158 ft lot on the south side of West Fourth Street approximately 160 ft northwest of its intersection with Oak Street (see Figures 2a and 3a). The residence (Figure 39) is oriented to the northeast and sits back approximately 25 ft from the street. A concrete drive provides vehicular access to the dwelling.



Figure 39. Site 63 (CP 266): two-story, two-bay, front-gabled frame residence.

A residence is first depicted in the approximate location of Site 63 on the 1955 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. PVA records indicate that the house was built circa 1954 (USGS 1955).

The two-story, two-bay (d/d), front-gabled frame dwelling comprises approximately 1,120 sq ft of living space. The foundation is composed of concrete blocks, and the exterior walls are clad in vinyl siding. The roof is sheathed in asphalt shingles. The façade has two garage entries with replacement four-light sectional overhead doors. Directly above the garage entries are two windows filled with replacement sashes comprised of a larger central one-light sash flanked by narrower single-light sashes. A small window in the gable appears to have horizontal sliding single-light sashes. The northwest elevation exhibits a single-leaf entry with a two-light door set behind an aluminum frame storm door. Windows flanking the entry appear to be filled with glass blocks. The three upper-story windows on this elevation have replacement one-over-one-light, double-hung sashes. The

southeast elevation has similar replacement upper-story windows, while the first-floor windows appear to have two-over-two-light sashes. A shed-roofed porch extends from the second floor of the rear elevation, and the first floor of the porch is obscured by vegetation. A brick chimney pierces the northwest roof slope near the ridge line.

**NRHP Evaluation:** Ineligible. The house associated with Site 63 is an unremarkable example of a mid-twentieth-century, two-story, front-gabled frame residence with numerous alterations, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence include the various types of replacement windows, replacement garage doors, and replacement siding. These alterations have compromised the residence's integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 63 and events or persons of historical significance. Therefore,

CRA recommends that Site 63 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 65

KHC Survey #: CP 268

Photographs: Figures 40 and 41

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 725726 N: 4323519

Property Address: 5210 Owl Creek Road

Melbourne, KY 41059

Owner Information: Greg K. and Anna M. Zinkhon

5210 Owl Creek Road

Melbourne, KY 41059

Deed Book/Page: 192/480

Construction Date: circa 1925

**Description:** Site 65 (CP 268) consists of an American Bungalow and a late-twentieth-century pole barn located on a .97-acre tract on the southwest side of Owl Creek Road immediately southeast of the road's intersection with Uhl Road (see Figures 2a and 3a). The residence is oriented to the northeast and sits back approximately 70 ft from the road. A gravel drive circumscribes the residence and connects both buildings with Owl Creek Road.

A residence is first depicted in the approximate location of Site 65 on the 1952 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. PVA records indicate that the house was built circa 1925 (USGS 1952).

The one-and-one-half-story, three-bay (ww/d/ww) frame residence (Figure 40) comprises approximately 1,674 sq ft of living space and exhibits a typical American Bungalow form. The house is clad in vinyl

replacement siding and rests on a continuous rusticated concrete-block foundation beneath an asphalt-shingle roof. A carport addition with a corrugated-metal-panel roof spans the rear elevation. Aerial photographs indicate that the carport was added circa 2005.

A single-story, shed-roofed, Craftsman-influenced porch spans the façade elevation of the residence (Figure 41). The porch roof is supported by battered, boxed wood columns located atop brick piers, which are integrated into a brick balustrade. The single-leaf façade entry features a half-light wood-panel door. On the rear elevation beneath the carport is a secondary double-leaf entry with full-light replacement doors. Windows throughout the house have one-over-one-light, double-hung replacement sashes. A central gabled dormer is located on the northeasterly roof slope above the porch, and an interior brick chimney projects from the rear roof slope.

The aforementioned pole barn is located approximately 110 ft southeast of the residence. Several other late-twentieth- and early-twenty-first-century outbuildings are located south and south-southeast of the residence on an adjacent 34.54-acre parcel owned by the Zinkhons.

**NRHP Evaluation:** Ineligible. The house associated with Site 65 is a commonplace example of an American Bungalow that lacks distinctive architectural details. The Craftsman-influenced façade porch details are typical of houses of this type. Modifications to the residence, including construction of the rear carport addition, application of replacement siding, and installation of replacement doors and window sashes, have compromised its integrity of design, materials, and workmanship. The outbuildings associated with the residence are not 50 years of age or older and lack architectural significance. Furthermore, archival research indicated no association between Site 65 and events or persons of historical significance. Therefore, CRA recommends that Site 65 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A



Figure 40. Site 65 (CP 268): one-and-one-half-story, three-bay frame American Bungalow.



Figure 41. Site 65: façade elevation of residence.

## Site 66

KHC Survey #: CP 269

Photographs: Figures 42–45

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 725842 N: 4323453

Property Address: 5250 Owl Creek Road  
Melbourne, KY 41059

Owner Information: Carl J. and Alta F. Bennett  
5250 Owl Creek Road  
Melbourne, KY 41059

Deed Book/Page: 155/583

Construction Date: circa 1890

**Description:** Site 66 (CP 269) consists of a residence and bank barn (Figure 42) located on a 50.52-acre parcel on the southwest side of Owl Creek Road approximately .1 mi southeast of the road's intersection with Uhl Road (see Figures 2a and 3a). The residence is oriented to the east and sits back approximately 20 ft from the road. Both buildings are accessed via a gravel drive that extends westward from Owl Creek Road. The property was documented from the public ROW.

The residence of an F. Neltner is depicted in the vicinity of Site 66 in the 1883 county atlas. However, a search of census records yielded no information pertaining to this individual. PVA records indicate that the house was built circa 1890 (Griffing 1883:47).

The two-story, five-bay (w/d/w/d/w), double-pile, side-gabled frame residence (Figure 43) comprises approximately 1,674 sq ft of living space. The house is clad in aluminum replacement siding and rests on a continuous targeted stone foundation beneath an asphalt-shingle roof. Its elongated massing and slightly asymmetrical façade fenestration

may be indicative of additions to one or both gable ends.

Both single-leaf façade entries feature half-light replacement doors set behind aluminum storm doors. The rightmost entry opens onto a concrete-block stoop, and a section of exposed stone foundation beneath the rightmost entry indicates that a similar stoop may have been located there as well. Secondary single-leaf entries on the south gable end and rear elevation exhibit similar doors. An upper-level entry on the rear elevation is accessed via an exterior metal staircase. Windows have one-over-one-light, double-hung replacement sashes. An interior brick ridge chimney projects from the roof near the north gable end, and an exterior concrete-block chimney is located on the façade to the right of the leftmost entry.

Located approximately 75 ft northwest of the residence is a frame bank barn (Figure 44). The interior of the barn was not accessed, but based on its architectural similarities with other German vernacular bank barns in the area, it most likely has a pegged mortise-and-tenon frame. The barn is clad in vertical-board siding and rests on a continuous stone foundation beneath a metal-panel roof. An upper-level vehicular bay with suspended sliding vertical-board doors is centrally located on the south elevation. The vehicular bay is accessed via an embankment that is supported by a stone retaining wall along its eastern flank. An inaccessible threshing bay with a single suspended sliding vertical-board door is located on the north elevation (Figure 45). The east gable features three owl holes, two of which are heart shaped. The lower level of the barn is accessed via single-leaf pedestrian entries with vertical-board doors and wood lintels, entries located on the north and east elevations of its stone foundation. Window bays on the foundation have one-over-one-light, double-hung wood sashes, some of which are missing their glazing, as well as wood lintels. Projecting from the barn's west gable end is a gable-roofed equipment shelter with metal supports.



Figure 42. Site 66 (CP 269): southerly overview of property.



Figure 43. Site 66: façade and south elevations of residence.



Figure 44. Site 66: bank barn located northwest of residence.



Figure 45. Site 66: north and east elevations of bank barn.

NRHP Evaluation: Ineligible. The residence associated with Site 66 is not an excellent example of late-nineteenth-century rural domestic architecture. It is not indicative of a particular architectural type, period, or method and exhibits a number of modifications, including possible additions to its north and south gable ends, application of replacement siding, installation of replacement doors and window sashes, installation of the metal staircase and concrete-block chimney, and removal of the left façade stoop. These alterations to the residence have compromised its historical integrity of design, materials, and workmanship. The bank barn associated with Site 66 is not an exceptional representative of its type, several examples of which are associated with NRHP-listed properties included in the German Settlement, Four Mile Creek Area TR, and the equipment shelter extending from its west gable end has diminished its integrity of design. Archival research indicated no association between Site 66 and events or persons of historical significance. Therefore, CRA recommends that Site 66 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 67

KHC Survey #: CP 270

Photographs: Figures 46 and 47

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 725551 N: 4323705

Property Address: 5469 Owl Creek Road  
Melbourne, KY 41059

Owner Information: Barry R. Dalton

Deed Book/Page: 243/176

Construction Date: circa 1961

Description: Site 67 (CP 270) consists of a Ranch house situated on an 11.72-acre tract on

the east side of Owl Creek Road approximately .57 mi southeast of its intersection with Uhl Road (see Figures 2a and 3a). The residence (Figure 46) is oriented to the northwest and sits approximately 60 ft from the ROW of Owl Creek Road. A gravel drive provides vehicular access to the dwelling.

A residence is first depicted in the approximate location of Site 67 on the 1961 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. PVA records indicate that the house was built circa 1961 (USGS 1961a).

The one-story, three- or four- bay, Linear-with-Clusters Ranch sub-type dwelling comprises approximately 1,470 sq ft of living space. The foundation is composed of concrete blocks, and the exterior walls are clad in brick veneer. The roof is sheathed in asphalt shingles. The overall form of the dwelling is a side-gabled house with a gable-roofed projection creating a truncated L-shape. To the left of the projection, extending along the façade of the side-gable portion of the residence, is a flat-roofed porch supported by boxed wood columns resting on a concrete deck. A railing of vertical wood panels extends along the façade, and screens have been added to the porch. The screens obscure the façade bays sheltered by the porch. A window with replacement horizontal sliding single-light sashes fills the window along the façade of the gable-roofed projection. Other windows were not clearly visible. An exterior brick chimney is located on the southwest gable end of the dwelling. Also located on this gable end is a large gable-roofed addition with open sides. An aerial view of the property indicates a large deck located along the rear of the house.

Two outbuildings are associated with the house. A prefabricated carport with a metal roof and open sides is located to the immediate southwest of the gable-roof addition.



Figure 46. Site 67 (CP 270): one-story, three- or four- bay, Linear-with-Clusters Ranch sub-type dwelling.

The second outbuilding (Figure 47), oriented to the northwest, is located approximately 85 ft to the southwest of the residence on the edge of a slope. This single-story, one-bay (d), front-gabled frame outbuilding is clad in wood bead board siding, and the roof is sheathed in asphalt shingles. The roof extends forward beyond the façade wall plane, sheltering the entry. The single-leaf entry has a replacement nine-light door. The outbuilding also has a square window opening along its southwest elevation and exhibits exposed rafter tails.

**NRHP Evaluation:** Ineligible. The house associated with Site 67 is an unexceptional example of a mid-twentieth-century Linear-with-Clusters Ranch with numerous alterations, and it lacks extraordinary architectural details, such as those indicative of a particular architectural style. Alterations to the residence, including modifications to the

façade porch, the addition to the southwest gable end, and the installation of replacement window sashes, have compromised its integrity of design, materials, and workmanship. The residence is not an outstanding example of a particular architectural type, period, or method of construction, and archival research indicated no association between Site 67 and events or persons of historical significance. Therefore, CRA recommends that Site 67 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A.



Figure 47. Site 67: front-gabled frame outbuilding located northwest of residence.

## Site 69

KHC Survey #: CP 272

Photographs: Figures 48–51

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 726186 N: 4323164

Property Address: 5322 Four Mile Road  
Melbourne, KY 41059

Owner Information: N/A

Deed Book/Page: N/A

Construction Date: circa 1900–1924

**Description:** Site 69 (CP 272) consists of a residence and two outbuildings located on a 1.52-acre parcel on the southwest side of Four Mile Creek Road opposite Providence Trace Drive (see Figures 2a and 3a). The residence is

oriented to the northeast and sits back less than 5 ft from the road. A graveled area is located on the shoulder of Four Mile Creek Road approximately 20 ft northwest of the house.

A residence is first depicted in the approximate location of Site 69 on the 1914 East Cincinnati, Ohio–Kentucky, 15-minute series topographic quadrangle. PVA records yielded no information regarding the property. However, based on the form of the residence, it was likely constructed during the first quarter of the twentieth century (USGS 1914).

The single-story, two-bay (d/w), gable-roofed frame residence (Figure 48) exhibits an L-shaped plan comprised of a front-gabled wing oriented perpendicular to Four Mile Creek Road with a shorter wing projecting parallel to the road from its northwestern elevation along a common façade plane. The house is clad in composite shingles and rests on a continuous stone foundation beneath a metal-panel roof.



Figure 48. Site 69 (CP 272): single-story, two-bay, gable-roofed frame residence.

A shed-roofed porch with replacement metal supports and a poured-concrete deck shelters the southeastern half of the façade, including a central single-leaf entry with a half-light wood-panel door (Figure 49). A window bay may have formerly been located to the left of the entry on the front-gabled portion of the façade. A shed-roofed porch is located on the rear elevation in the void between the two wings. Windows feature six-over-six-, one-over-one-, and two-over-one-light, double-hung wood sashes. An exterior brick chimney is located on the northwest gable end. To the right of the chimney is a bulkhead basement entry with metal doors.

A front-gabled concrete-block garage (Figure 50) is located approximately 60 ft northwest of the residence at the southwestern edge of the aforementioned graveled area. Twin vehicular bays on its northeast gable end have four-light segmented overhead doors. On its southeast elevation is a single-leaf pedestrian entry with an unglazed metal door that is sheltered beneath a corrugated-metal awning. Windows on the southeast and northwest elevations have one-by-one sliding metal sashes.

Approximately 100 ft northwest of the residence is a shed-roofed frame outbuilding (Figure 51). It is clad in prefabricated wood siding beneath a metal-panel roof. Windows on its east elevation have single six-light sashes, and a window on its north elevation is covered over with chicken wire.

**NRHP Evaluation:** Ineligible. The residence associated with Site 69 is an unexceptional example of an early-twentieth-century frame residence that lacks distinctive architectural details, such as those associated with a particular housing form, style, or construction method. Modifications to the residence, including a possible alteration to the façade fenestration, replacement of the façade porch supports, and application of replacement siding, have diminished its integrity of design, materials, and workmanship. The outbuildings associated with Site 69 are likewise lacking in both architectural significance and integrity. Archival research indicated no association between Site 69 and events or persons of historical significance. Consequently, CRA recommends that Site 69 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 49. Site 69: façade elevation of residence.



Figure 50. Site 69: front-gabled concrete-block garage located northwest of residence.



Figure 51. Site 69: shed-roofed frame outbuilding located northwest of residence.

## Site 70

KHC Survey #: CP 273

Photographs: Figures 52–54

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 726363 N: 4323266

Property Address: 5333 Four Mile Road  
Melbourne, KY 41059

Owner Information: Eda M. and Jacob J. Tape  
P.O. Box 406  
Silver Grove, KY 41085

Deed Book/Page: 217/75

Construction Date: circa 1951

**Description:** Site 70 (CP 273) (Figure 52) consists of a residence and associated carport located on a .81-acre parcel on the northeast side of Four Mile Creek Road immediately southeast of Providence Trace Drive (see Figures 2a and 3a). The residence is oriented to the southwest and sits back approximately .11 mi from the road. A gravel drive connects the property with Four Mile Road.

A residence is first depicted in the approximate location of Site 70 on the 1952 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. PVA records indicate that the residence associated with Site 70 was constructed circa 1951 (USGS 1952).

The single-story, three-bay (ww/d/www), gable-roofed frame residence (Figure 53) comprises approximately 1,216 sq ft of living space and has been significantly enlarged through the construction of multiple additions. It is clad in vinyl replacement siding and rests on a continuous pargeted foundation beneath an asphalt-shingle roof.



Figure 52. Site 70 (CP 273): east-southeasterly overview of property.



Figure 53. Site 70: single-story, three-bay, gable-roofed frame residence.

Comprising the northwestern corner of the dwelling's front-gabled façade projection is a recessed porch supported by a single boxed wood column atop a poured-concrete deck. The porch shelters the single-leaf façade entry, which features a three-light wood-panel door. Located to the right of the porch on the gable end of the façade projection is a tripartite picture window. A single-bay, gable-roofed frame garage addition projects from the northwest gable end of the main block. The vehicular bay on its southwest elevation features a two-light segmented overhead door. The main block has been extended to the southeast, and a gable-roofed addition projects from its southeast gable end (Figure 54). Windows have been fitted with replacement sashes, except for a window on the northwest gable end of the garage addition with two-over-two-light, double-hung wood sashes. An interior brick chimney with a corbelled top projects from the front roof slope at the junction of the main block and its southeasterly extension.

Located approximately 85 ft northwest of the residence is a metal carport (see Figure 52). The structure consists of a corrugated-metal-panel clad roof with slender metal supports.

**NRHP Evaluation:** Ineligible. The residence associated with Site 70 is an unremarkable example of a mid-twentieth-century frame residence that lacks distinctive architectural details, such as those associated with a particular architectural style. Modifications to the residence, including the construction of various additions, application of replacement siding, and installation of replacement window sashes, have compromised its integrity of design, materials, and workmanship. The carport associated with Site 70 does not appear to be 50 years of age. Archival research indicated no association between Site 70 and events or persons of historical significance. Consequently, CRA recommends that Site 70 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 54. Site 70: façade and southeast elevations of residence.

## Site 71

KHC Survey #: CP 274

Photographs: Figures 55–60

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 726278 N: 4323051

Property Address: 5380 Four Mile Road

Melbourne, KY 41059

Owner Information: Anthony W. and Donna Vogel

5380 Four Mile Creek Road

Melbourne, KY 41059

Deed Book/Page: 255/536

Construction Date: circa 1900–1924

**Description:** Site 71 (CP 274) consists of a nineteenth-century farmstead located on a 98.68-acre parcel on the southwest side of Four Mile Creek Road approximately 420 ft southeast of the road's intersection with Providence Trace Drive (see Figures 2a and 3a). The building cluster associated with the farmstead is comprised of two residences, a bank barn, and two frame outbuildings situated on a terrace above Four Mile Creek. A gravel drive connects the property with Four Mile Road. Site 71 was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 71 on the 1914 East Cincinnati, Ohio–Kentucky, 15-minute series topographic quadrangle. According to property owner Donna Vogel, the three-bay (w/d/w), gable-roofed frame I-house (Figure 55) associated with the property was built in the late nineteenth century by German forebears of her husband, Anthony W. Vogel (personal communication 2012). The two-and-one-half-story, three-bay (ww/d/ww), hip-roofed, brick-clad residence (Figure 56) located approximately 25 ft northwest of the I-house is of early-twentieth-century construction. Census records

list a 65-year-old widow named Margaret Vogel as a head-of-household residing in the Four Mile Pike area in 1930. Both of Vogel's parents were born in Germany. Living with her were her widowed daughter-in-law, Margaret, and two boys, Edward and Frank, sons of one of the women. Two Margaret Vogels, born in 1865 and 1897, are buried in St. Joseph's Cemetery (Site 122 [CP 62]) (Jensen and Moore 2012; USBC 1930; USGS 1914).

The I-house is clad in weatherboard siding and rests on a continuous stone foundation beneath a corrugated-metal-panel roof. Its central single-leaf façade entry features an unglazed wood-panel door and a single-light transom. Located at the base of its southeast gable end is a bulkhead basement entry with metal doors. Windows visible from the ROW retain their vertically-oriented two-over-two-light, double-hung wood sashes.

The stretcher-bond masonry of the later residence is suggestive of frame construction clad in a brick veneer. This dwelling rests on a continuous rusticated concrete-block foundation beneath a roof of asphalt shingles. A single-story, three-quarter-width, hip-roofed porch shelters the lower-level façade bays (Figure 57). The Craftsman-inspired porch features simple columns situated atop brick piers, which are set within a decorative brick balustrade, and a poured-concrete deck. The central, single-leaf façade entry consists of a half-light wood-panel door set behind an eight-light wood-panel storm door (Figure 58). A decorative enframing comprised of single-light sidelights and a full transom light surrounds the entry. Matching decorative moldings underlie the glazing on the door and sidelights. Windows visible from the ROW along Four Mile Road have one-over-one-light, double-hung replacement sashes. At the base of the southeast elevation is a bulkhead basement entry with metal doors. The dwelling's soffits and fascia boards have been re-clad in aluminum. Hip-roofed dormers are centrally located on the northeast, southeast, and northwest roof slopes, and an interior brick chimney with a corbelled top projects from the rear roof slope.



Figure 55. Site 71 (CP 274): three-bay, gable-roofed frame I-house.



Figure 56. Site 71: two-and-one-half-story, three-bay, hip-roofed, brick residence with Craftsman-inspired details located northwest of I-house.



Figure 57. Site 71: façade elevation of residence located northwest of I-house.

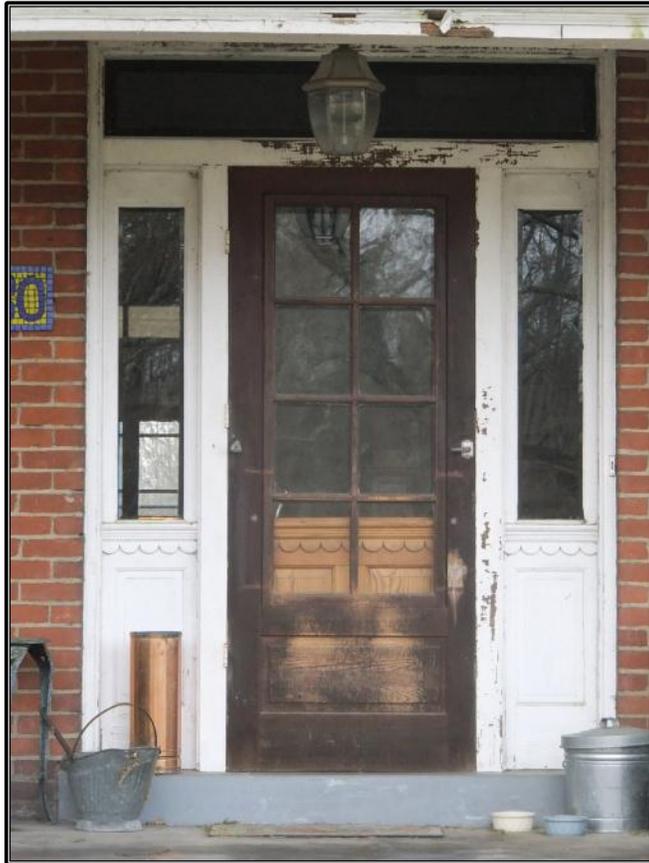


Figure 58. Site 71: façade entry detail on residence located northwest of I-house.

Approximately 130 ft south of the I-house is a frame bank barn (Figure 59). The barn is clad in vertical-board siding beneath a metal-panel roof. The eastern half of the barn rests on a continuous brick and concrete-block foundation and features a central vehicular bay with suspended sliding vertical-board doors on its north elevation, which is accessed via an earthen ramp. A basement-level window with a single multi-light sash is located on the east gable end. The western half of the barn, which appears to be of later construction, is supported by a continuous rusticated-block foundation with a single-leaf entry and several window bays on its north elevation. The entry features a Dutch door, and the windows have multi-light wood sashes. Above the lower-level entry is an inaccessible threshing bay with a suspended sliding vertical-board door.

A shed-roofed frame outbuilding (Figure 60, foreground) is located approximately 120 ft south of the I-house. Its walls are covered in wood latticework, and its roof is comprised of metal panels. A single-leaf pedestrian entry is located on the northwest elevation, and a frame and wire chicken coop projects from the southeast elevation.

Approximately 165 ft south of the I-house is a gable-roofed frame outbuilding (Figure 60, background). It is clad in vertical-board siding beneath a corrugated-metal-panel roof.

Aerial photographs indicate that another gable-roofed outbuilding was located approximately 100 ft southwest of the I-house. This outbuilding was razed sometime between August 2009 and July 2010.

**NRHP Evaluation:** Ineligible. I-houses represent a ubiquitous folk house form that has been well documented throughout Kentucky and the eastern United States (Montell and Morse 1976:32). Therefore, examples must demonstrate exceptional architectural merit in order to be considered eligible for inclusion in the NRHP under Criterion C. While the I-house associated with Site 71 retains a high degree of integrity with regard to design, materials, and workmanship, it lacks extraordinary architectural details that might

otherwise increase its significance, such as those indicative of a particular style.

Like the I-house, the early-twentieth-century residence associated with Site 71 retains its historical integrity of design, materials, and workmanship but is architecturally unremarkable, exhibiting Craftsman-inspired porch details commonly applied to earlier and contemporaneous residences of various types. The craftsmanship of the façade entry is impressive but does not constitute architectural significance as defined under Criterion C. Alterations to the residence, including the installation of replacement window sashes and application of aluminum cladding to its soffits and fascia boards, have diminished its integrity of materials and workmanship.

The bank barn associated with Site 71 is an unremarkable representative of its type, several better examples of which are associated with NRHP-listed properties included in the German Settlement, Four Mile Creek Area TR. The addition to its western end has effectively doubled the footprint of the barn, thereby compromising its integrity of design. Furthermore, the foundation of the barn's original portion is constructed of brick and concrete-block rather than stone, indicating that either the barn is one of the area's later examples of the form or, more likely, that the original foundation was replaced.

Despite the property's association with the Vogel family, it lacks the manifestations of nineteenth-century German material culture exhibited by the contributing properties included in the German Settlement, Four Mile Creek Area TR. The bank barn is the only German vernacular building associated with Site 71, and as previously stated, alterations to the barn have compromised its historical integrity. Archival research indicated no association with other events or individuals of historical significance, including members of the Vogel family. Consequently, CRA recommends that Site 71 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 59. Site 71: frame bank barn located south of I-house.



Figure 60. Site 71: frame outbuildings located south of I-house.

## Site 72

KHC Survey #: CP 275

Photographs: Figures 61–68

Map: Figures 2a and 3a

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 726634 N: 4323040

Property Address: 1000 St. Anne Drive  
Melbourne, KY 41059

Owner Information: Sisters of Divine  
Providence  
1000 St. Anne Drive  
Melbourne, KY  
41059

Deed Book/Page: 210/51

Construction Date: circa 1850–1875

**Description:** Site 72 (CP 275) is a nineteenth-century farmstead (Figure 61) associated with St. Anne Convent (CP 93). The farmstead, comprised of a residence, smokehouse, bank barn, and several later buildings, is located in a clearing within a wooded area on the southwestern portion of the 120-acre property on the northeast side of Four Mile Creek Road approximately .3 mi southeast of the road's intersection with Providence Trace Drive (see Figures 2a and 3a). It is accessed via gravel drives extending northward from Four Mile Road and southward from the convent.

St. Anne Convent was documented by KHC personnel during the 1979 countywide survey. However, the farm complex was not recorded despite its location on the convent property. KHC records indicate that the NRHP eligibility of St. Anne Convent has not yet been determined (KHC survey and NRHP files).



Figure 61. Site 72 (CP 275): farm complex associated with St. Anne Convent.

The farm is first depicted on the 1952 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle, though the house foundation, smokehouse, and bank barn are clearly of mid- to late-nineteenth-century German vernacular construction. The Sisters of Divine Providence acquired the property in 1909 as a gift from Peter O'Shaughnessy and occupied the nineteenth-century residence of Peter Young (depicted in the 1883 county atlas) until construction of the main convent building (Figure 62) was completed in 1919. The nuns of St. Anne operated the farm for several years, according to Sister Marilyn Hoffman, who facilitated documentation of Site 72 (personal communication 2012). At the time of the field survey, a 10-acre parcel comprising the farm complex was up for sale (Griffing 1883:49; USGS 1952).

The APE for the proposed force main includes a slender 30-x-925 ft band of the 120-acre property located south-southwest of the farm complex along the northeast side of Four Mile Creek Road. This portion of the property is contained within the 10-acre parcel associated with the nineteenth-century farm and is located approximately .16 mi southwest of the convent complex. While Site 72 was utilized by the nuns of St. Anne Convent for a number of years during the twentieth century, the farmstead's earlier period of construction, tentative association with the convent complex, and isolated location on the southwestern portion of the property dissociate it from CP 93 both historically and spatially, as suggested by the farmstead's exclusion from previous documentation of the property. As such, only the farm parcel was documented for evaluation with regard to the proposed project.

The two-story, five-bay (www/d/w/w/w), single-pile, cross-gabled residence (Figure 63) is located at the northwestern end of the aforementioned clearing and is oriented to the southeast. Its exterior walls and roof are clad in replacement metal panels, and its rubble limestone foundation is exposed along the southwest and rear elevations (Figure 64). A shed-roofed porch with a continuous cast-concrete foundation spans the façade

elevation. The southwestern portion of the porch has been enclosed, and the remainder has been screened in. An offset cross gable is located above the southwestern portion of the façade. The central, single-leaf façade entry has a replacement wood-panel door, as does a secondary single-leaf entry on the northeast gable end. Windows feature one-over-one-light, double-hung replacement sashes of various sizes, and the rear fenestration has been reconfigured. An exterior brick chimney is located on the northeast gable end, and immediately to its right is a metal flue encased in a metal-panel conduit.

Approximately 5 ft northeast of the residence is a mortared-stone smokehouse with a pyramidal roof (Figure 65). The smokehouse features a central single-leaf pedestrian entry with a replacement door on its southeast elevation and a replacement metal-panel roof.

A side-gabled frame and stone barn (Figure 66) is located approximately 55 ft southeast of the residence. Its walls are clad in vertical-board siding, and its roof is covered in metal panels. The barn is similar in construction and massing to German vernacular bank barns in the vicinity, exhibiting a raised rubble limestone foundation and pegged mortise-and-tenon frame; central vehicular bays with suspended sliding vertical-board doors on its southeast and northwest elevations; and single-leaf pedestrian entries with Dutch doors on the southeast, southwest, and northeast elevations of its foundation. Windows on the foundation feature six-over-six-light, double-hung wood sashes. Unlike other German vernacular barns in the area, however, this barn was not constructed in a banked configuration. Instead, all entries appear to access the barn's lower level. A cast-concrete pad and a wall segment are located to the left of the vehicular entry on the southeast elevation, and aerial photographs indicate that a cylindrical silo was removed from the southwest gable end sometime between May 2007 and October 2008.



Figure 62. CP 93: St. Anne Convent.



Figure 63. Site 72: two-story, five-bay, single-pile, cross-gabled residence.



Figure 64. Site 72: northeast and rear elevations of residence and stone smokehouse.

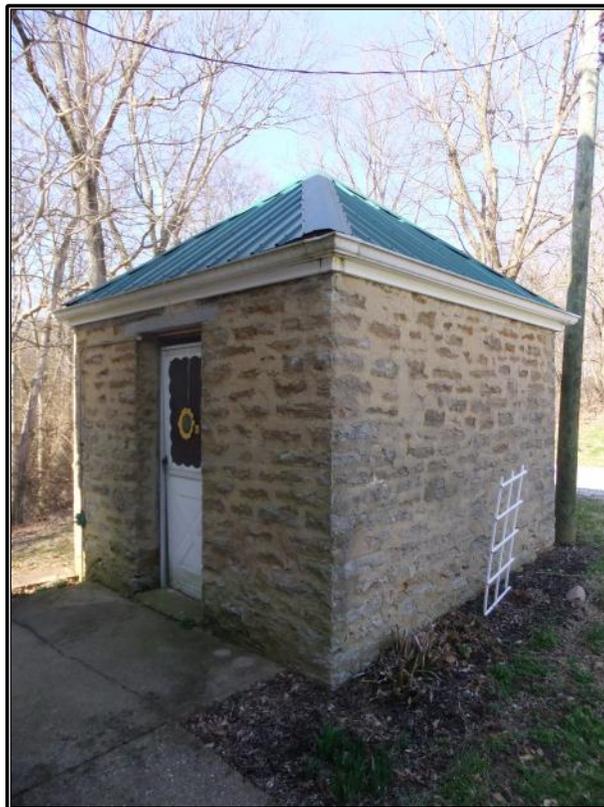


Figure 65. Site 72: southeast and northeast elevations of mortared-stone smokehouse located northeast of residence.



Figure 66. Site 72: side-gabled frame and stone barn located southeast of residence.

Located approximately 165 ft southeast of the residence is a front-gabled frame garage (Figure 67). The garage is clad in metal-panel siding and rests on a continuous concrete foundation beneath a corrugated-metal-panel roof. A vehicular bay with a segmented overhead metal door spans its northeast gable end.

Approximately 175 ft southeast of the residence is a side-gabled frame barn (see Figure 67). It is clad entirely in metal panels and rests upon a continuous concrete foundation. Three vehicular bays with metal panel doors are located on the barn's northwest elevation. To the right of the southwesternmost vehicular bay is a bulkhead basement entry with metal doors. A single-leaf loft bay with a replacement door is located in the northeast gable.

West of the aforementioned metal-clad barn is a low embankment supported on its western side by a horizontally-coursed dry-laid stone retaining wall (see Figure 67). The embankment likely contains a cistern.

Three mid- to late-twentieth-century ancillary buildings (Figure 68) are also associated with the farm complex. Located approximately 55 ft east-northeast of the residence is a front-gabled concrete-block outbuilding with a metal-panel roof. A central single-leaf pedestrian entry with an unglazed wood door is located on its northwest gable end. Windows feature one-over-one-light, double-hung wood sashes. Below each window bay is a narrow ventilation bay. According to Sister Marilyn Hoffman, the building was used to house pigs (personal communication 2012).

A second gable-roofed concrete-block outbuilding with a metal-panel roof (see Figure 68) is located approximately 110 ft east of the residence. It features an offset single-leaf pedestrian entry with a replacement door on its northeast elevation and windows with two-over-two-light, double-hung wood sashes on its southwest elevation.



Figure 67. Site 72: gable-roofed frame barn and garage located southeast of residence.



Figure 68. Site 72: mid- to late-twentieth-century ancillary buildings located northeast and east of residence.

Approximately 160 ft east of the residence is a shed-roofed outbuilding with a gable-roofed greenhouse extending from its southeast end (see Figure 68). The shed-roofed portion of the building is clad in metal-panel siding and rests on a formed-concrete foundation beneath a metal-panel roof. Single-leaf pedestrian entries with multi-light doors are located on its northeast and northwest elevations. This building appears to be of later construction than the two previously described concrete-block outbuildings.

**NRHP Evaluation:** Ineligible. Based on the architectural characteristics of the nineteenth-century residence, smokehouse, and barn associated with Site 72 (CP 93), the farmstead is apparently one of several German settlement properties located in the Camp Springs area, approximately 30 of which are included as contributing properties within the NRHP-listed German Settlement, Four Mile Creek Area TR. The rubble limestone masonry of the house foundation, smokehouse, and barn foundation is indicative of the local German vernacular building tradition, as are the formal characteristics of the smokehouse and barn.

Alterations to the residence, including construction of the façade porch, modifications to the rear fenestration, application of replacement siding, and installation of replacement doors and window sashes, have compromised its integrity of design, materials, and workmanship. Aside from the exposed sections of rubble limestone foundation on the southwest and rear elevations, the house is visually unrecognizable as a mid- to late-nineteenth-century German vernacular residence. The stone smokehouse is typical in form and execution of several such outbuildings associated with German settlement properties in the Four Mile Creek vicinity, but the replacement of its original door and roof has diminished its architectural integrity. The frame and stone barn is in many ways indicative of the German vernacular barns associated with settlement-era farmsteads in the area but doesn't exhibit the hillside construction that is a defining characteristic of their design.

The German vernacular buildings comprising the nineteenth-century farmstead associated with Site 72 retain their location and setting among the other German settlement properties in the Four Mile Creek Valley, but they otherwise lack the historical significance and integrity exhibited by neighboring NRHP-listed properties included in the German Settlement, Four Mile Creek Area TR. Furthermore, archival research yielded nothing to suggest that the farmstead played any more than a subsidiary role in the development or day-to-day operations of St. Anne Cathedral during the years of its association with the institution, nor did it reveal any associations between the property and other events or persons of historical significance. None of the buildings associated with the farmstead is an outstanding example of a particular architectural type, period, or method, and the modern outbuildings compromise the integrity of the farmstead as a whole. Therefore, CRA recommends that Site 72 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 73

**KHC Survey #:** CP 276

**Photographs:** Figures 69 and 70

**Map:** Figures 2a and 3b

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

**UTMs:** E: 726894 N: 4322465

**Property Address:** 5659 Four Mile Road

Melbourne, KY 41059

**Owner Information:** Victor and Doris Brooks

Box 53D Gunkel Rd. #1

Melbourne, KY 41059

**Deed Book/Page:** 282/56

**Construction Date:** circa 1901

**Description:** Site 73 (CP 276) consists of a frame house and outbuildings situated on a

30.08-acre parcel on the east side of Four Mile Road approximately 182 ft north of its intersection with Grays Crossing (See Figures 2a and 3b). The residence sits approximately 237 ft from the ROW and is accessed from Four Mile Road via a gated gravel drive. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 73 on the 1900 East Cincinnati, Ohio–Kentucky, 15-minute series topographic quadrangle (see Figure 10). PVA records indicated the residence was constructed in 1901 (USGS 1900).

The residence comprises approximately 1,408 sq ft of living space. It is oriented to the southwest and exhibits a one-and-one-half-story, three-bay (w/dd/w), single-pile, side-gabled form with a rear ell projection (Figure 69). It rests on a brick and stone foundation and is protected by a metal-panel roof with boxed eaves and cornice returns. The walls are sheathed in vinyl replacement siding. The façade is characterized by a central double-leaf entry fitted with louvered wood-panel doors. Flanking the entry are two-over-two-light,

double-hung wood-sash windows. Located along the second level is a central cross gable featuring a single-leaf entry that leads to a small frame balcony. The balcony is enclosed with wood railings and shelters the primary entry below. It is supported by wood posts. The northwest elevation of the main block features a two-over-two-light, double-hung wood-sash window in the first level and a one-over-one-light, double-hung wood-sash window in the second level. The northeast elevation features an ell projection clad in vinyl replacement siding beneath a metal-panel roof that is pierced by a brick chimney along the ridgeline. The ell projection features a one-over-one-light, double-hung wood-sash window in the first level and a sliding-sash window in the upper level.

Located approximately 75 ft east of the residence and oriented to the southwest is a single-story, front-gabled, metal-clad barn/garage (Figure 70). From the public ROW it appears the barn/garage no longer retains portions of its wall cladding. Other details were indiscernible from the ROW.



Figure 69. Site 73 (CP 276): single-story, three-bay, side-gabled frame residence.



Figure 70. Site 73: easterly overview of property.

Approximately 30 ft to the southeast and oriented to the west is a single-story, side-gabled, metal-clad outbuilding (see Figure 70). Other details were indiscernible from the ROW due to overgrown vegetation.

**NRHP Evaluation:** Ineligible. The residence associated with Site 73 (CP 276) is a typical example of a one-and-one-half story, side-gabled frame residence with a rear ell, a vernacular building form constructed in rural Kentucky in the nineteenth and early twentieth centuries. The building exhibits architectural details, including a central cross gable and cornice returns, which are often applied to buildings of this type, but the detailing is not executed in a manner that would distinguish it as an exceptional example of the type or as a noteworthy example of a particular style. Additionally, the installation of vinyl replacement siding diminishes the integrity of design, materials, and workmanship of the historic house, thus rendering the dwelling

ineligible for listing in the NRHP under Criterion C. The associated outbuildings appear to date later than the residence and are common types lacking architectural significance. Research indicated no association between Site 73 and events or persons of historic significance. Therefore, CRA recommends that Site 73 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 74

**KHC Survey #:** CP 277

**Photographs:** Figures 71–85

**Map:** Figures 2a and 3b

**Zone:** 16

**Quad:** Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 726890 N: 4322244

Property Address: 5757 Four Mile Road

Melbourne, KY 41059

Owner Information: Dennis J. and Sue R. Heiert

5713 Four Mile Road

Melbourne, KY 41059

Deed Book/Page: 207/93

Construction Date: circa 1850–1874

**Description:** Site 74 (CP 277) is a nineteenth-century farmstead (Figure 71) located on a 1.97-acre parcel on the northeast side of Four Mile Road approximately 340 ft west-northwest of the road's intersection with Lower Tug Fork Road (see Figures 2a and 3b). The farm complex is situated on a terrace overlooking the Four Mile Creek Valley. Asphalt and gravel drives link the property with Four Mile Road.

The residence of a J. Wittman is depicted in the vicinity of Site 74 in the 1883 county atlas (see Figure 9). Census records indicate that Jacob Wittmann, a farmer and Hessian immigrant, was residing in the Alexandria precinct of Campbell County in 1870 along with his wife, Barbra, also a Hessian native, and their five children. The two oldest children, Lizzie and Susan, were born in Ohio, suggesting that the Wittmanns, like many other German families that immigrated to the region in the mid-nineteenth century, may have first settled in the Cincinnati area before relocating to the Four Mile Creek area. According to PVA records, the house was built circa 1873, which corresponds with the date engraved in the lintel above the smokehouse entry (Griffing 1883:45; USBC 1870).

The one-and-one-half-story, three-bay (w/d/w), gable-roofed frame residence comprises approximately 2,313 sq ft and exhibits an asymmetrical form suggestive of two parallel single-pile, cross-gabled dwellings oriented to the east and west and linked at the rear by a central ell (Figures 72 and 73). It is clad in aluminum replacement

siding and rests on a continuous stone foundation beneath a metal-panel roof.

The south gable end of the dwelling's westernmost parallel wing projects from the façade plane. To the right of this projection, a shed-roofed porch with replacement wood supports shelters a single-leaf entry on the central ell and a window bay on the south gable end of the easternmost wing (Figure 74). Central entries beneath the cross gables of the two wings are conspicuously absent. Projecting from the rear elevation of the central ell and spanning the west elevation of the easternmost wing is an enclosed shed-roofed porch with a Craftsman-inspired stone balustrade (Figure 75). A single-leaf entry with a replacement storm door is located on the porch's rear elevation. Most of the house's windows have been fitted with one-over-one-light, double-hung replacement sashes. Exceptions include small upper-level windows with single-light replacement sashes on the east and west elevations and two windows with six-light wood sashes on the west elevation of the enclosed rear porch. The northernmost lower- and upper-level window bays on the east elevation have been enclosed. A bulkhead basement entry with metal doors is located beneath the southernmost window bay on this same elevation. Architectural ornamentation is limited to cornice returns on the gables.

Immediately to the rear of the residence is a mortared-stone smokehouse with a pyramidal roof (Figure 76). It features a central single-leaf entry with a vertical-board door on its east elevation. Engraved on the stone lintel above the entry are the name "Wittmann" and the year "1873" (Figure 77). The roof of the smokehouse is covered in asphalt shingles and features a louvered cupola. A shed-roofed frame addition connects the north elevation of the smokehouse to the south elevation of a shed-roofed frame privy. The addition is clad in board-and-batten siding and asbestos shingles. On its east elevation is a doorless single-leaf pedestrian entry. The privy is clad in prefabricated wood panels and features a single-leaf pedestrian entry with a vertical-board door on its east elevation.



Figure 71. Site 74 (CP 277): nineteenth-century farmstead.



Figure 72. Site 74: one-and-one-half-story, three-bay, gable-roofed frame residence.



Figure 73. Site 74: west elevation of residence.



Figure 74. Site 74: façade elevation of residence.



Figure 75. Site 74: rear elevation of residence.



Figure 76. Site 74: mortared-stone smokehouse located to rear of residence.



Figure 77. Site 74: detail of engraved stone lintel above smokehouse entry.

Flanking a sidewalk approximately 50 ft north of the residence is a pair of mortared-stone gateposts (Figure 78). The gateposts are of horizontally-coursed rough-cut rubble construction and feature pyramidal mortar caps.

A shed-roofed frame outbuilding (Figure 79) is located approximately 75 ft north of the residence. Its walls and roof are clad in corrugated-metal panels. On its southeast elevation is a single-leaf pedestrian entry with a corrugated-metal-panel door. Immediately south of the outbuildings is a poured-concrete cistern.

Approximately 100 ft north of the residence is a gable-roofed stone and frame outbuilding with a continuous mortared-stone foundation and a metal-panel roof (Figure 80). The outbuilding exhibits an L-shaped footprint. The southeastern portion of its longer wing is of rubble limestone construction and features a recessed southwest wall plane. A single-leaf pedestrian entry elevated slightly above grade is centrally located on its southwest elevation. To the right of the entry is a frame projection clad in vertical-board siding. An access bay with a

hinged vertical-board door is located on the southwest elevation of the projection just above the foundation. On the southeast gable end of the building is a single window with a four-light metal sash. The remainder of the building is of frame construction clad in corrugated-metal, plywood, vertical-board, and board-and-batten siding. Located on the southwest elevation of the outbuilding's longer wing to the left of the stone section are a single-leaf pedestrian entry with a corrugated-metal-panel door and a doorless vehicular bay. On the southeast elevation of the shorter wing are a single-leaf pedestrian entry with a replacement half-light door and a garage bay with four-light segmented overhead metal door. A single window with a six-light wood sash is located on the southwest gable end of the shorter wing. Spanning the northwest elevation of the outbuilding is a shed-roofed frame projection. Located on the southwest end of the projection is a single-leaf entry with a half-light replacement door. Windows on its northeast and northwest elevations have six-light wood sashes. An interior brick chimney protrudes from the roof of the projection.



Figure 78. Site 74: mortared-stone gateposts located north of residence.



Figure 79. Site 74: shed-roofed frame outbuilding and cistern located north of residence.



Figure 80. Site 74: gable-roofed stone and frame outbuilding located north of residence.

A two-story, front-gabled frame outbuilding (Figure 81) is located approximately 110 ft east of the residence. It is clad in weatherboard siding and rests on mortared-stone foundation walls beneath a standing-seam metal roof. Like many German vernacular buildings in the area, this outbuilding exhibits hillside construction. Single-leaf entries with unglazed wood doors located on the outbuilding's northeast and southwest gable ends access its lower and upper levels, respectively. Paired upper-level windows on the southeast and northwest elevations have fixed single-light wood sashes. A dry-laid stone retaining wall extends in a south-southeasterly arc from the outbuilding's easternmost corner.

Located approximately 160 ft east-northeast of the residence is a German vernacular bank barn (Figure 82). The interior of the barn was not accessible, but based on architectural similarities with other such barns associated with German settlement properties in the Four Mile Creek area, it likely has a pegged mortise-and-tenon frame. It is clad in vertical-board siding and rests on a continuous mortared-stone foundation beneath a

replacement metal-panel roof. A central vehicular bay with suspended sliding metal-panel replacement doors on the barn's northwest elevation accesses its upper level. Single-leaf pedestrian entries with vertical-board doors on the southwest elevation of the foundation provide lower-level access. A shed-roofed addition with a mortared-stone foundation spans the southeast elevation. Shed-roofed equipment shelters are located on the northwest elevation to the left of the aforementioned vehicular bay and on the northeast gable end (Figure 83). Located to the right of the equipment shelter on the northeast gable end is a shed-roofed wood-stave silo. Near the barn's westernmost corner is a poured-concrete cistern with a crank-operated pump.

A single-story, front-gabled frame granary (Figure 84) is located approximately 180 ft northeast of the residence. It is clad in vertical-board siding and supported by concrete-block piers beneath a standing-seam metal roof. A single-leaf pedestrian entry with an unglazed wood-panel door is located on its southeast gable end.



Figure 81. Site 74: two-story, front-gabled frame outbuilding located east of residence.



Figure 82. Site 74: bank barn located east-northeast of residence.



Figure 83. Site 74: northeast and northwest elevations of bank barn.



Figure 84. Site 74: gable-roofed frame granary located northeast of residence.

A dry-laid, horizontally-coursed stone retaining wall is located along the northeastern side of the asphalt drive south of the residence and along the western side of the gravel drive located to its east and southeast (Figure 85). Integrated mortared-stone steps lead upslope from the asphalt driveway to the residence. The retaining wall terminates at the easternmost corner of the aforementioned two-story, front-gabled frame outbuilding (see Figure 81). A second, much shorter stone retaining wall is located along the south side of the cistern west of the bank barn.

**NRHP Evaluation:** Ineligible. Site 74 is one of many mid- to late-nineteenth-century German settlement properties located in the Camp Springs vicinity, approximately 30 of which are included as contributing properties within the NRHP-listed German Settlement, Four Mile Creek Area TR. The farm was settled by Hessian immigrants Jacob and Barbra Wittmann, and several of its buildings, including the stone smokehouse; the gable-roofed stone and frame outbuilding located north of the residence; the two-story, front-gabled frame outbuilding located east of the

residence; and the bank barn, are to varying degrees indicative of the local German vernacular building tradition. However, these buildings and the property as a whole lack the requisite integrity for listing in the NRHP, hence the exclusion of the farmstead from the NRHP-listed German Settlement, Four Mile Creek Area TR.

The farmhouse associated with Site 74 is an unremarkable example of a rural mid- to late-nineteenth-century frame dwelling and is not indicative of German vernacular residences in the Four Mile Creek area, which are typically two-story, double-pile, side-gabled buildings of rubble limestone construction. It is not representative of a particular type, period, or method of construction, and extensive modifications, including apparent changes to the fenestrations of the east and west elevations, construction of the façade and rear porches, application of replacement siding, and installation of replacement doors and window sashes, have compromised its historical integrity of design, materials, and workmanship.



Figure 85. Site 74: northerly overview of property depicting stone retaining wall located along asphalt and gravel drives.

The stone smokehouse is representative of a vernacular outbuilding form associated with many of the German settlement properties in the Four Mile Creek Valley, including several properties comprising the NRHP-listed German Settlement, Four Mile Creek Area TR. It is also the only such smokehouse with an engraved lintel observed during the field survey. However, alterations to the smokehouse, including its asphalt-shingle roof and, more noticeably, the frame addition connecting it with a nearby privy, have compromised its architectural integrity.

The bank barn is characteristic in form and construction of German vernacular barns associated with mid- to late-nineteenth-century farmsteads throughout the area. Nonetheless, its integrity of design, materials, and workmanship has been compromised through the construction of several additions and installation of replacement doors on its northwesterly vehicular bay.

The gable-roofed stone and frame outbuilding and the two-story, front-gabled frame outbuilding located north and east of the residence, respectively, are not representative of specific building forms, but both outbuildings exhibit architectural characteristics associated with the local German vernacular building tradition. The southeasternmost portion of the former and the foundations of both buildings are of rubble limestone construction, and the latter exhibits hillside construction. These two buildings lack architectural significance as well as integrity.

The buildings comprising Site 74 retain their location and setting among the other German settlement properties in the Four Mile Creek Valley but otherwise lack the historical significance and integrity exhibited by neighboring NRHP-listed properties included in the German Settlement, Four Mile Creek Area TR. Furthermore, archival research indicated no association between the property and other events or persons of historical significance, including the Wittmann family. None of the buildings associated with the farmstead is an outstanding example of a particular architectural type, period, or method. Therefore, CRA

recommends that Site 74 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 75

KHC Survey #: CP 278

Photographs: Figures 86–88

Map: Figures 2a and 3b

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 726975 N: 4322006

Property Address: 5849 Lower Tug Fork Road  
Melbourne, KY 41059

Owner Information: Sharon H. Ivy and Leslie  
Mason

4 Cedar Crest Trail

Bahama, NC 27503

Deed Book/Page: 299/662

Construction Date: circa 1890

Description: Site 75 (CP 278) consists of a residence and outbuildings situated on a 43.49-acre parcel on the southeast side of Lower Tug Fork Road approximately .10 mi southwest of its intersection with Four Mile Road (see Figures 2a and 3b). The residence sits approximately 190 ft from the ROW and is accessed from Lower Tug Fork Road via a two-track gravel drive. The property was surveyed from the public ROW.

The residence of a Miss E. Tucker is depicted in the approximate location of Site 75 in the 1883 county atlas (see Figure 9). However, a search of census records yielded no information pertaining to this individual. PVA records indicate the residence associated with Site 75 was constructed circa 1890 (Griffing 1883:45).

The residence comprises approximately 1,666 sq ft of living space. It is oriented to the west and exhibits a one-and-one-half-story, three-bay (d/w/w), double-pile, side-gabled form (Figure 86). The frame residence rests on a brick and stone foundation and is protected by an

asphalt-shingle roof. The walls are clad in vinyl replacement siding. The façade is characterized by gable-oriented projection with an integral lean-to. Windows along the façade projection have one-over-one-light, double-hung vinyl sashes. Located at the northernmost end of the façade is a single-leaf entry with a modern replacement door. The entry is sheltered by a shed-roof porch, which is supported by wrought-iron columns set upon a concrete deck. The south elevation features a shed-roofed porch supported by wrought-iron columns set upon a concrete deck. Due to the distance from the public ROW, other details of the residence were indiscernible.

Situated approximately 50 ft southwest of the residence and oriented to the northwest is a single-story, single-bay, front-gabled concrete-block garage (Figure 87). The garage features a single vehicular entry with a metal-panel roller door.

Located approximately 328 ft west-southwest of the residence and oriented to the northwest is a single-story, single-bay, front-gabled frame corn crib or granary (Figure 88). The outbuilding is protected by a metal-panel roof and is clad with evenly-spaced vertical boards. The off-center single-leaf entry features

a hinged vertical-board door. Situated to the north-northeast of the outbuilding are the remnants of a stone foundation.

**NRHP Evaluation:** Ineligible. The residence associated with Site 75 (CP 278) lacks notable architectural elements indicative of a particular type or style. Additionally, the façade projection alters the original plan of the house, and the house features replacement siding, windows, and doors, thus compromising its integrity of design, materials, and workmanship and rendering it ineligible for listing in the NRHP under Criterion C. The associated outbuildings are representative of common types and lack significant architectural features that would qualify them as individually eligible for listing in the NRHP under Criterion C. The loss of the building that used to sit on the stone foundation compromises the setting, feeling, and association of the property, which does not retain adequate historical resources or exhibit historical land use patterns to qualify it for listing as a rural historic landscape. Research revealed no associations between Site 75 and events or persons of historical significance. Consequently, CRA recommends that Site 75 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 86. Site 75 (CP 278): one-and-one-half-story, three-bay, side-gabled frame residence.



Figure 87. Site 75: single-story, front-gabled concrete-block garage located southwest of residence.



Figure 88. Site 75: single-story, front-gabled corncrib or granary and remnants of stone foundation located west-southwest and west of residence, respectively.

## Site 76

KHC Survey #: CP 279

Photographs: Figure 89

Map: Figures 2a and 3b

Zone: 16

Quad: Newport, KY-OH 1983 (Photorevised 1987)

UTMs: E: 727176 N: 4321988

Property Address: 5878 Four Mile Road  
Melbourne, KY 41059

Owner Information: Dorothy Saverbeck and  
Regina Murphy  
5878 Four Mile Road  
Melbourne, KY 41059

Deed Book/Page: 294/598

Construction Date: circa 1953

**Description:** Site 76 (CP 279) consists of a residence situated on a 22.25-acre parcel located on the south side of Four Mile Road approximately .16 mi southeast of its intersection with Lower Tug Fork Road (see Figures 2a and 3b). The residence sits approximately 244 ft from the ROW and is accessed from Four Mile Road via a two-track gravel drive. A small residential concrete slab bridge carries the drive over Four Mile Creek. The property was surveyed from the public ROW.

A residence is first depicted in the approximate location of Site 76 on the 1952 Newport, Kentucky-Ohio, 7.5-minute series topographic quadrangle. PVA records indicate the residence was constructed circa 1953 (USGS 1952).

The residence comprises approximately 810 sq ft of living space. It is oriented to the northeast and exhibits a one-and-one-half-story, three-bay (w/w/www), double-pile, cross-gabled form (Figure 89). The dwelling rests on a continuous concrete foundation, is protected by an asphalt-shingle roof that is pierced by an exterior brick chimney along

the northwest roof slope, and has walls clad in aluminum siding. The façade is characterized by a partial-width recessed porch supported by square wood posts that rest upon a concrete deck. The walls protected by the porch are clad in vertical vinyl siding and stone veneer. The porch shelters a single-leaf entry, which allows access into the cross-gabled portion of the façade. Windows along the façade feature replacement vinyl sashes. The southeast and northwest elevations feature one-over-one-light, double-hung vinyl-sash windows. The northwest elevation features a gabled dormer in the second level. The southwest elevation features a shed-roof addition.

**NRHP Evaluation:** Ineligible. The residence associated with Site 76 lacks significant architectural details that are indicative of a particular style. Additionally, the installation of vinyl replacement windows and the presence of the rear shed-roofed addition diminish its integrity of design, materials, and workmanship. Thus, the residence is not an outstanding example of an architectural type, style, or method of construction. The concrete slab bridge associated with the property is a small residential bridge type that lacks significant architectural details that would elevate its significance to make it worthy of inclusion in the NRHP under Criterion C. Furthermore, research revealed no associations between Site 76 and events or persons of historical significance. Therefore, CRA recommends that Site 76 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A



Figure 89. Site 76 (CP 279): one-and-one-half-story, three-bay, cross-gabled frame residence.

## Site 78

KHC Survey #: CP 281

Photographs: Figure 90

Map: Figures 2a and 3b

Zone: 16

Quad: Withamsville, OH-KY 1983 (Revised 1992)

UTMs: E: 727460 N: 4321895

Property Address: 5973 Four Mile Rd.

Melbourne, KY 41059

Owner Information: Christopher Fuchs

5973 Four Mile Rd.

Melbourne, KY 41059

Deed Book/Page: 222/319

Construction Date: 1951

**Description:** Site 78 consists of a residence located at 5973 Four Mile Road approximately .11 mi. northwest of its intersection with Cardinal Trail. It is situated on a grassy, approximately .57-acre lot that slopes gently upward from the road before rising steeply into a wooded area. A prefabricated shed is also associated with the property. It is located to the rear of the residence. Site 78 is first depicted on the 1953 Withamsville, OH-KY topographic quadrangle. PVA records indicate that the house was built circa 1951 (USGS 1953b).

The residence is a one-and-one-half-story, two-bay (w/ww) frame residence oriented to the southeast (Figure 90). It is situated on a concrete-block foundation beneath an asphalt-shingle roof. The residence is constructed into the hillside so that the front portion of the foundation is exposed. It is clad with vinyl siding. The residence comprises approximately 1,305 sq ft of living space.



Figure 90. Site 78 (CP 281): northerly view of residence.

The main entry is not visible from the ROW. It appears to be located on the rear elevation of the residence. Windows consist of one-over-one, double-hung replacement sashes. The façade windows are sheltered beneath metal awnings. A side-gabled dormer extends from the center of the roof. A sliding sash window is located at the center of the dormer. It is also sheltered beneath a metal awning. A one-story shed-roof addition is attached to the southwest (side) elevation. It is clad with the same wall and roof material as the primary portion of the residence. Paired sliding sash windows are located at the center of the northwest and southwest elevations of the addition.

A garage bay is located at the western corner of the façade foundation. It has been enclosed with particle board. Glass block windows are located at the northern corners of the façade and northeast elevations.

**NRHP Evaluation:** Ineligible. The residence associated with Site 78 appears to be a highly modified example of an American Bungalow or American Small House, two common forms dating to the first half of the twentieth century. Given its current condition, its original appearance is unclear. The addition of replacement siding and windows, the reconfiguration of the primary entry, and the construction of a side addition have compromised the structure's integrity of design, materials, and workmanship. Research also indicated no association between Site 78 and events or persons of historical significance. Consequently, CRA recommends that Site 78 is not eligible for inclusion in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A.

## Site 82

KHC Survey #: CP 285

Photographs: Figure 91

Map: Figures 2a and 3b

Zone: 16

Quad: Withamsville, OH-KY 1983 (Revised 1992)

UTMs: E: 727554 N: 4321629

Property Address: 6056 Four Mile Rd.

Melbourne, KY 41059

Owner Information: Leonard and Charlene

Beck

6024 Four Mile Rd.

Melbourne, KY 41059

Deed Book/Page: 253/228

Construction Date: 1948

Description: Site 82 consists of a residence located at 6056 Four Mile Road approximately .06 mi south of its intersection with Cardinal

Lane. It is situated on a level, primarily grassy approximately 1.01-acre lot. An asphalt drive leads from the road to the residence, which is oriented to the east. Site 82 is first depicted on the 1961 Withamsville, OH-KY topographic quadrangle.

The residence is a one-and-one-half story, three-bay (w/d/w), side-gabled frame house with a front-gabled extension (Figure 91). It is situated beneath an asphalt-shingle roof and clad with stucco. The foundation material is not visible. The residence comprises approximately 1,440 sq ft of living space.

The central façade entry consists of an aluminum screen door. It opens onto a concrete-block porch. The front-gabled extension above the porch is supported by tapered, wood porch posts. A brick knee wall runs the perimeter of the porch. The asymmetrically arranged flanking windows consist of one-over-one, double-hung aluminum and vinyl sashes. Another entry is located at the eastern corner of the south (side) elevation. It consists of a metal screen door sheltered beneath a metal awning. It opens onto a poured-concrete stoop.



Figure 91. Site 82 (CP 285): northwesterly view of residence.

A side-gabled garage is attached to the southern corner of the rear elevation. It is clad with the same wall and roof material as the residence, except for the front elevation, which is clad with drop siding.

**NRHP Evaluation:** Ineligible. The residence located at Site 82 is an undistinguished building form that lacks the architectural significance or integrity necessary to warrant NRHP eligibility under Criterion C. It is not of a specific style or significant design, nor does it appear to represent a significant or early construction method. The installation of replacement window sashes has diminished the dwelling's integrity of design, materials, and workmanship. Research indicated no association between Site 82 and events or persons of historical significance. Consequently, CRA recommends that Site 82 is not eligible for inclusion in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A.

## Site 83

**KHC Survey #:** CP 286

**Photographs:** Figure 92

**Map:** Figures 2a and 3b

**Zone:** 16

**Quad:** Withamsville, OH–KY 1996

**UTMs:** E: 727684 N: 4321603

**Property Address:** 6037 Four Mile Road

Melbourne, KY 41059

**Owner Information:** Nancy A. and Barone  
Kremer

6037 Four Mile Road

Melbourne, KY 41059

**Deed Book/Page:** 284/773

**Construction Date:** circa 1937

**Description:** Site 83 (CP 286) (Figure 92) consists of an American Bungalow and associated outbuildings situated on a 26.2-acre parcel located on the east side of Four

Mile Road approximately 132 ft south of its intersection with Cardinal Trail (see Figures 2a and 3b). The residence sits approximately 222 ft from the ROW and is accessed from Four Mile Road via a two-track gravel drive. Despite multiple attempts, CRA personnel were unable to secure permission to access the property, which is largely obscured from view along the ROW by dense vegetation.

A residence is first depicted in the approximate location of Site 83 on the 1953 Withamsville, Ohio–Kentucky, 7.5-minute series topographic quadrangle. PVA records indicate the residence was constructed circa 1937 (USGS 1953b).

The residence comprises approximately 1,984 sq ft of living space. It is oriented to the west and exhibits a three-bay (w/d/w) American Bungalow form. The frame dwelling rests on a concrete-block foundation, is protected by an asphalt-shingle roof that is pierced by an exterior brick chimney on the eastern slope, and has walls clad in brick veneer. The façade is characterized by a full-width porch supported by brick posts. Situated in the second level is a gabled dormer. Windows feature one-over-one-light, double-hung vinyl replacement sashes and occur singly and in pairs. The north elevation features a garage addition. The south and rear elevations also feature additions.

Three outbuildings are associated with the property. Located approximately 123 ft northwest of the residence is a two-story, side-gabled frame barn/stable, and situated approximately 170 ft northeast of the residence is a single-story, shed-roof frame garage. These two outbuildings appear to be of late-twentieth-century construction. Approximately 257 ft southeast of the residence is a third frame outbuilding, the details of which were indiscernible from the ROW.



Figure 92. Site 83 (CP 286): southeasterly overview of property.

NRHP Evaluation: Ineligible. The American Bungalow associated with Site 83 is an unremarkable example of its type, which occurs ubiquitously in both rural and suburban areas throughout Kentucky and the United States. The residence lacks distinctive architectural details, such as those associated with the Craftsman style. Furthermore, its three major additions and the installation of replacement doors and window sashes have compromised its integrity of design, materials, and workmanship. Additionally, research indicated no associations between Site 83 and events or persons of historical significance. Consequently, CRA recommends that Site 83 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A

## Site 84

KHC Survey #: CP 287

Photographs: Figures 93–102

Map: Figures 2a and 3b

Zone: 16

Quad: Withamsville, OH–KY 1996

UTMs: E: 727488 N: 4321364

Property Address: 6122 Four Mile Road

Melbourne, KY 41059

Owner Information: Donald and Kelli A.  
Bricking

5083 Gary Lane

Cold Springs, KY  
41076

Deed Book/Page: 288/204

Construction Date: circa 1850

Description: Site 84 (CP 287) is a nineteenth-century farmstead (Figure 93) located on a 16.23-acre parcel on the west side of Four Mile Road approximately .18 mi south of its intersection with Cardinal Trail (see Figures 2a and 3b). The residence sits approximately .11 mi from the ROW and is accessed from Four Mile Road via a gravel drive. A mortared-stone watercourse (Figure 94) contains an unnamed tributary of Four Mile Creek between the driveway and Four Mile Road.



Figure 93. Site 84 (CP 287): nineteenth-century farmstead.



Figure 94. Site 84: mortared-stone watercourse located between driveway and Four Mile Road.

The residence of an H. Schnabel is depicted in the approximate location of Site 84 in the 1883 county atlas (see Figure 9). Census records indicate that German immigrants Henry and Barbra Schnabel and their five Kentucky-born children were residing in the Alexandria precinct of Campbell County in 1870. Henry (Heinrich) Schnabel, a farmer, was interred at St. John's Church Cemetery in 1915. According to PVA records, the house was built circa 1850 (Griffing 1883:45; Jensen and Moore 2012; USBC 1870).

The residence comprises approximately 1,482 sq ft of living space. It is oriented to the northeast and exhibits a one-and-one-half-story, four-bay (w/w/d/w), single-pile, side-gabled form (Figure 95). According to property owner Donald Bricking, the main block of the house and the single-story shed-roofed addition on its rear elevation (Figure 96) are of log and stone construction, respectively (personal communication 2012). However, the southeasternmost portion of the main block appears to be a frame addition. The residence is clad in aluminum replacement siding beneath a metal-panel roof. Its main block is supported by a continuous pargeted foundation. A portion of rubble limestone masonry comprising the rear addition is visible below the siding on the rear elevation of the residence.

A single-story, front-gabled porch with replacement decorative metal supports and a poured-concrete deck shelters the single-leaf façade entry, which features a wood replacement door set behind an aluminum storm door. A secondary entry on the shed-roofed rear addition has a three-light wood-panel door, and a single-leaf basement entry on the southeast gable end has a vertical-board door. Lower-level windows have horizontally-oriented two-over-two-light, double-hung wood sashes, and those located on the façade are flanked by decorative louvered shutters. Smaller upper-level windows have one-over-one-light, double-hung sashes of unknown material. Pargeted interior chimneys project from the rear roof slope of the main block and from the roof of the addition. A well or cistern with a replacement wood cap and a crank-

operated pump is located immediately northeast of the façade porch (see Figure 95).

A front-gabled frame privy and a frame kindling shed (Figure 97) are located approximately 60 ft north-northwest of the residence. The privy is clad in vertical-board siding beneath an asphalt-shingle roof and features a single-leaf entry with a vertical-board door. The sides and roof of the kindling shed are clad in metal panels.

Approximately 35 ft west of the residence is a front-gabled concrete-block garage (Figure 98). Twin vehicular bays on its southwest gable end feature three-light segmented overhead wood doors. A single-leaf pedestrian entry with a four-light wood-panel door is located near the northeast end of the southeast elevation (Figure 99). Windows on the northeast, southeast, and northwest elevations of the garage have one-by-one-light sliding metal sashes.

A gable-roofed frame bank barn (Figure 100) is located approximately 70 ft west-southwest of the residence. It is clad in vertical-board siding and rests on a continuous mortared-stone foundation beneath a replacement metal-panel roof. The upper level of the barn is accessed via a central vehicular bay with suspended sliding vertical-board doors on its northwest elevation. Lower-level access is gained through a pedestrian entry on the northeast elevation of the foundation. A frame equipment shed addition spans the southwest gable end, and a gable-roofed concrete-block addition projects from the southeast elevation beneath a Palladian window of recent installation (Figure 101). Cast-concrete and mortared-stone retaining walls are located immediately southwest of the gable-roofed addition.

Located approximately 230 ft southwest of the residence is a front-gabled frame barn with flanking sheds (Figure 102). Aerial photographs indicate that the barn was constructed between August 2009 and July 2010.



Figure 95. Site 84: one-and-one-half-story, four-bay, single-pile, side-gabled log residence.



Figure 96. Site 84: rear elevation of residence.



Figure 97. Site 84: front-gabled frame privy and frame kindling shed located north-northeast of residence.



Figure 98. Site 84: front-gabled concrete-block garage located west of residence.



Figure 99. Site 84: northeast and southeast elevations of garage.



Figure 100. Site 84: frame bank barn located west-southwest of residence.



Figure 101. Site 84: southeast and southwest elevations of bank barn.



Figure 102. Site 84: early-twenty-first-century barn located southwest of residence.

**NRHP Evaluation:** Ineligible. Site 84 is one of many mid- to late-nineteenth-century German settlement properties located in the Camp Springs vicinity, approximately 30 of which are included as contributing properties within the NRHP-listed German Settlement, Four Mile Creek Area TR. The farm was settled by German immigrants Henry and Barbra Schnabel, and the residence and bank barn are indicative of the local German vernacular building tradition. However, these buildings and the property as a whole lack the requisite integrity for listing in the NRHP, hence the exclusion of the farmstead from the NRHP-listed German Settlement, Four Mile Creek Area TR.

The log and stone farmhouse associated with Site 84 is atypical of the residences generally associated with German settlement properties in the Four Mile Creek vicinity, which are conventionally two-story, double-pile, side-gabled buildings of rubble limestone construction. However, its hillside construction and the rubble-limestone construction of the rear addition are denotative of German vernacular building techniques. Modifications to the residence, including construction of the existing façade porch, application of replacement siding, installation of replacement window sashes and the façade door, and pargeting of the foundation, have compromised its historical integrity of design, materials, and workmanship.

The bank barn is characteristic in form and construction of German vernacular barns associated with mid- to late-nineteenth-century farmsteads throughout the area. Nonetheless, the additions to its southeast and southwest elevations and the installation of the Palladian window have compromised its integrity of design, materials, and workmanship.

The remaining outbuildings are typical examples of well-documented building types that lack architectural significance. Neither the garage nor the circa 2009 barn contribute to the farmstead's integrity as a mid-nineteenth-century German settlement property.

The buildings comprising Site 84 retain their location and setting among the other German settlement properties in the Four Mile Creek Valley but otherwise lack the historical significance and integrity exhibited by neighboring NRHP-listed properties included in the German Settlement, Four Mile Creek Area TR. Furthermore, archival research indicated no association between the property and other events or persons of historical significance, including the Schnabel family. None of the buildings associated with the farmstead is an outstanding example of a particular architectural type, period, or method. Consequently, CRA recommends that Site 84 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 95

**KHC Survey #:** CP 72

**Photographs:** Figures 103–109 and 111

**Maps:** Figures 2b and 3b

**Zone:** 16

**Quad:** Withamsville, OH–KY 1996

**UTMs:** E: 727793 N: 4321124

**Property Address:** 6231 Four Mile Road

Melbourne, KY 41059

**Owner Information:** Kenneth and Elissa Plattner

6231 Four Mile Road

Melbourne, KY  
41059

**Deed Book/Page:** 140/646

**Construction Date:** 1852

**Description:** The John Weber Farm (Site 95 [CP 72]) (Figure 103) is an NRHP-listed property comprised of a mid-nineteenth-century Italianate-influenced residence and dependencies located on a 14.66-acre parcel on the northeast corner of the intersection of Four Mile and Eight Mile Roads (see Figures 2b and 3b). The property is situated on the

Four Mile Creek floodplain and is accessed via a concrete driveway that extends eastward from Four Mile Road, circumscribing the residence. The residence is oriented to the west.

Site 95 was previously documented by KHC personnel during the 1979 countywide survey. In 2007, the John Weber Farm was listed in the NRHP under Criterion A for its association with German ethnic heritage and was added to the group of properties included in the 1983 German Settlement, Four Mile Creek Area TR. Ramler subsequently evaluated the building in his suggested preservation and design guidelines for the Camp Springs area (Daniels 2007:8-1; KHC, survey and NRHP files; Ramler 2010:57).

The John Weber residence is depicted in the 1883 county atlas (see Figure 9). Weber, a German immigrant, established one of two mid-nineteenth-century dairy farms located in the Camp Springs area. Andrew Ritter, a Bavarian stonemason and Camp Springs resident, oversaw construction of the house, which began in 1852, according to Daniels. The Weber family owned and operated the

dairy farm into the 1940s. Comprising between 118 and 136 acres in its prime, the farm was significantly larger than neighboring farms in the Four Mile Creek Valley. Subsequent owners parceled off various sections of the property, reducing it to its current acreage (Daniels 2007:7-1–7-2, 8-3; Griffing 1883:45).

The two-story, double-pile, five-bay (w/w/d/w/w), hip-roofed residence comprises approximately 1,908 sq ft and exhibits architectural elements associated with the Italianate style, including a low-pitched roof with projecting eaves, cornice lines characterized by large brackets and a broad band of paneled trim, and bracketed crowns above the façade windows (Figure 104). It is of 7:1 common-bond brick construction and rests on a mortared-stone foundation beneath a roof of multi-colored slate shingles. According to previous research, the bricks of which the house was constructed were produced using locally quarried clay and were fired on-site, and the basement features a vaulted limestone ceiling (Daniels 2007:7-2; Ramler 2010:57).



Figure 103. Site 95 (CP 72): John Weber Farm.



Figure 104. Site 95: two-story, double-pile, five-bay, hip-roofed brick residence with Italianate-style details.

The recessed façade entry features a replacement door, and its original surround has been altered to accommodate a replacement transom. Replacement one-over-one-light, double-hung wood window sashes were installed after a 1996 fire (Ramler 2010:57). The two-story porch with squared columns that shelters the central three façade bays was added in 1958 and is crowned with a balustrade similar to that of a widow's walk atop the roof of the main block. (Daniels 2007:7-2; Ramler 2010:57). Extending from the northern portion of the rear elevation is a two-story, gable-roofed brick ell (Figure 105). A secondary single-leaf entry with a half-light wood-panel door is located on the ell's north elevation. Spanning the remainder of the rear elevation is a single-story, hip-roofed brick addition. Interior brick end chimneys project from the north and south roof slopes of the main block and the gable end of the rear ell.

A mortared-fieldstone smokehouse with a pyramidal roof (Figure 106) is located approximately 35 ft east of the residence. On its north elevation is a central, single-leaf

pedestrian entry with a solid batten door. Louvered vents are located above the entry and on the south and west elevations. The roof of the smokehouse is covered in bi-colored slate shingles and features a spired cupola. A brick chimney protrudes from the east roof slope.

Approximately 70 ft east-northeast of the residence is a timber-frame bank barn with a fieldstone foundation (Figure 107). It features a pegged mortise-and-tenon frame and is clad in asbestos siding beneath a replacement metal-panel roof. The upper level of the barn is accessed via a central vehicular bay with a segmented overhead garage door on its west elevation, and its lower level is accessed via pedestrian and livestock bays with wood-panel doors on its south gable end (Figure 108). Windows feature both wood and metal sashes, and most have been painted over. Three louvered, hip-roofed cupolas are located atop the barn's roof ridge. Situated at the barn's southwest corner is a cistern with a crank-operated pump.



Figure 105. Site 95: rear elevation of residence.



Figure 106. Site 95: stone smokehouse located east of residence.



Figure 107. Site 95: bank barn located east-northeast of residence.



Figure 108. Site 95: south gable end of barn.

A pair of mortared-stone retaining walls is also associated with the property. One is located southeast of the cistern and terminates at the barn's southwestern corner (see Figure 108), and the other is located along the northern bank of Four Mile Creek near the property's southwest corner (Figure 109). Both retaining walls are of horizontally-coursed construction.

Two non-contributing frame run-in barns are located in the pastures east of the residence. According to Daniels, both were constructed circa 1985 (Daniels 2007:7-3).

**NRHP Evaluation: Listed.** In 2007, the John Weber Farm (Site 95) was listed in the NRHP under Criterion A for its association with German ethnic heritage and was added to the group of properties comprising the 1983 German Settlement, Four Mile Creek Area TR. The NRHP boundary for the property is depicted in Figure 110 and includes the entire 14.66-acre parcel on which Site 95 is located.

No apparent alterations have been made to the property's contributing resources—the residence, smokehouse, bank barn, and cistern—since its nomination for listing in the

NRHP. As such, the John Weber Farm retains the aspects of its integrity that convey its historical significance as a mid-nineteenth-century German settlement property in the Camp Springs area, including its original location, rural setting in proximity to contemporaneous German settlement properties in the area, and association with German immigrants John Weber and Andrew Ritter (Daniels 2007:7-3–7-4).

**Determination of Effect: No Adverse Effect.** As depicted in Figure 110, a portion of the proposed force main measuring approximately 520 ft in length is to be located within the NRHP boundary for Site 95 along the east side of Four Mile Road and approximately 170 ft northwest of the residence. This portion of the force main coincides with a line of young trees located along the west side of the pasture to the north of the primary building cluster (Figure 111). This tree line is less than 50 years old and does not appear to have been installed as a soil stabilization measure. Additionally, an air release valve is to be located on the proposed force main within the NRHP boundary, approximately 445 ft north-northwest of the residence.



Figure 109. Site 95: mortared-stone retaining wall along northern bank of Four Mile Creek.

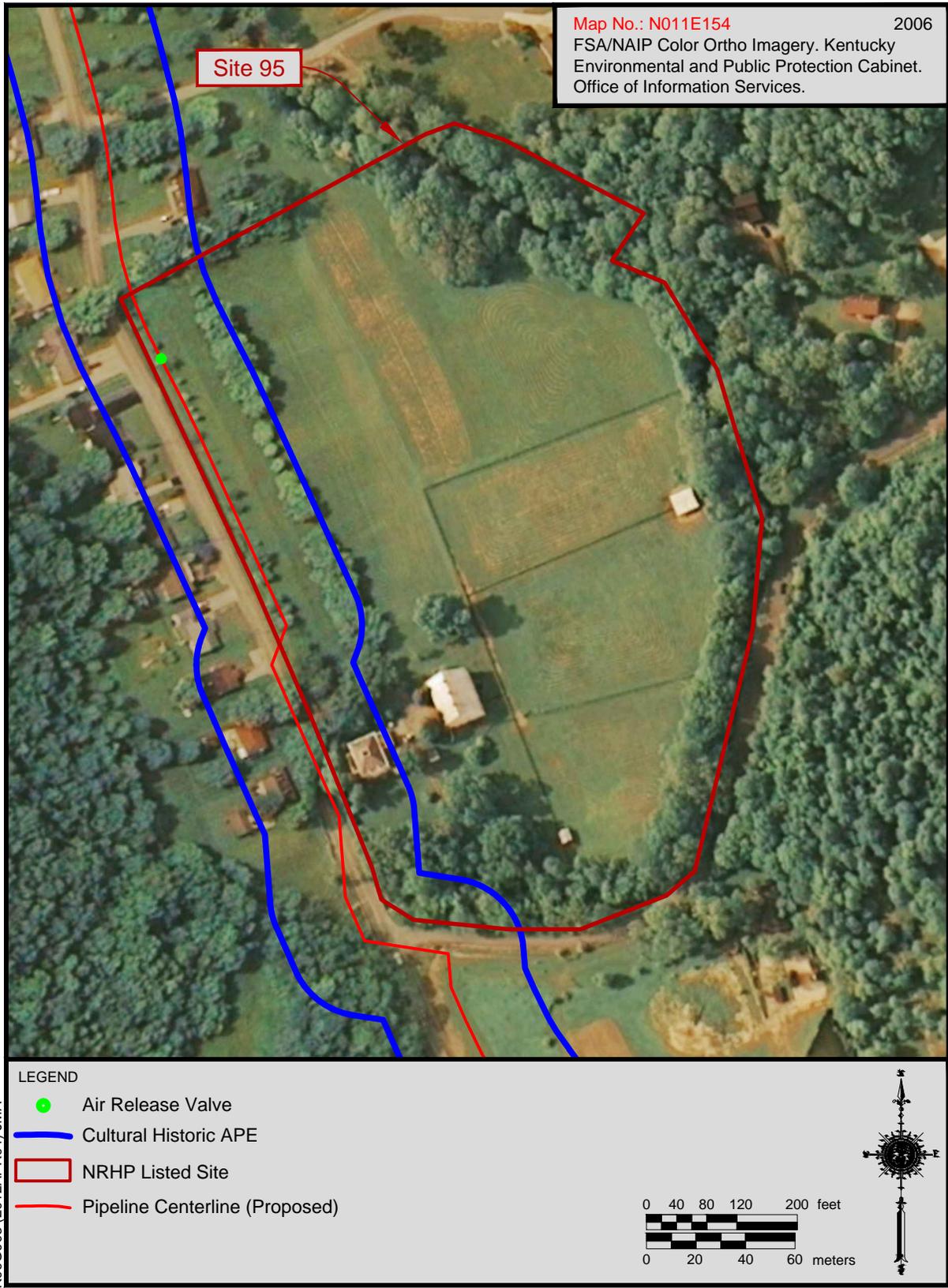


Figure 110. Site 95: aerial photograph depicting NRHP boundary in relation to APE.



Figure 111. Site 95: southeasterly overview of tree line along western property boundary.

Potential effects to be considered with regard to Site 95 include construction noise, odors associated with the aforementioned air release valve, mortar-joint damage, tree removal, and force main system failure. These potential effects have been addressed by SD1 in the project design as summarized in Section II of this report and outlined in Appendix A: Assessment of Adverse Effects.

Pertaining specifically to potential adverse effects within the NRHP boundary for Site 95, measures have been taken in designing the proposed force main to mitigate the potential for odors, including minimizing the potential for air accumulation in the line; venting released air through the ground where it is scrubbed, rather than directly into the atmosphere; and installing and routinely maintaining chemical-impregnated carbon canisters at all entries. Additionally, no blasting will be conducted within 200 linear ft of the historic structures associated with Site 95, thereby minimizing the potential for mortar-joint damage. If permission is granted

by the property owner, pre-blast inspections and seismographic monitoring will be conducted in conjunction with construction activities. Such monitoring will be conducted by a pre-approved consultant specializing in blasting and construction vibrations. If potentially-damaging seismic levels resulting from project-related construction are detected, or if damage to NRHP-listed resources is noted, blasting will cease immediately, and the KHC will be notified and engaged in consultation to address said issues. Based on project mapping provided by GRW Engineers, Inc., it appears that installation of the force main will require removal of the aforementioned tree line. These young trees do not directly contribute to the NRHP eligibility of Site 95, and SD1 plans to replace the trees as outlined in Appendix A, resulting in no lasting impact to the setting of the property. Thus, assuming that the steps outlined are implemented to minimize effects to this historic property, CRA recommends a No Adverse Effect determination for Site 95.

## Site 96

KHC Survey #: CP 298

Photographs: Figures 112–117

Map: Figures 2b and 3b

Zone: 16

Quad: Withamsville, OH-KY 1983 (Revised 1992)

UTMs: E: 727797 N: 4320908

Property Address: 6306 Four Mile Rd.

Melbourne, KY 41059

Owner Information: Matthew Hackman

6078 Saddle Ridge Dr.

Burlington, KY 41005

Deed Book/Page: 260/86

Construction Date: 1900

**Description:** Site 96 (CP 298) consists of a residence and summer kitchen, outbuilding, cistern, retaining wall, and bridge located at 6306 Four Mile Road approximately .1 mi south of its intersection with Eight Mile Road.

The residence is situated at the end of a gravel drive approximately 288 ft from the ROW. The structures are situated on a partially wooded, approximately 2.98-acre lot amidst rolling hills. Four Mile Creek runs along the road near the eastern property boundary. The Campbell County PVA record dates the residence to 1900. However, Site 96 is first depicted on the 1883 Atlas of Boone, Kenton and Campbell Counties, Kentucky, as belonging to William Uthe, a German immigrant and original owner of the Camp Springs House, a stagecoach stop, tavern, and inn. Based on the structure form and design, it appears to date to circa 1875–1899.

The residence is a two-story, three-bay (w/d/w), single-pile, side-gabled frame house oriented to the northeast (Figure 112). It is situated on a rubble limestone foundation beneath an asphalt shingle roof. The house is constructed into the hillside so that the eastern portion of the foundation is exposed. The majority of the foundation has been repointed. It is clad with aluminum siding. The residence comprises approximately 1,664 sq ft of living space.



Figure 112. Site 96 (CP 298): three-bay, gable-roofed I-house.

The slightly off-center façade entry consists of an ornate wood paneled door with a single light (Figure 113). The door is ornamented with a carved wreath and torch. The window frame is carved to resemble fluted pilasters with Ionic capitals beneath a denticulated cornice. The door is surrounded by a decorative wood frame with carved corner blocks. A three-light wood transom window is located above. The entry opens onto a partial-width wood porch. The porch is supported by the rubble foundation. The shed-roof porch is supported by wood posts. A wood railing runs the perimeter of the porch. Windows consist of one-over-one, double-hung vinyl sashes. A wood-paneled door is located slightly off-center within the façade foundation. It is flanked by a sidelight that has been partially enclosed with vertical board. An interior brick chimney extends from the slope of the northwest corner of the roof.

A shed-roof addition is attached to the southern half of the rear elevation. It is clad with the same wall and roof material. An entry consisting of a French door with a transom window is located at the northern corner of the rear elevation of the addition.

A summer kitchen is located approximately 5 ft southwest of the residence. It is a one-story, side-gabled rubble limestone structure oriented to the southeast (Figure 114). It was originally oriented to the northeast toward the residence, but the orientation has been changed because it is now connected to the residence via a front-gable frame addition. An entry is located at the center of the southeast elevation. It consists of a non-historic wood paneled door with six lights. An interior brick chimney extends above the roof peak at the southwest end of the roof.

An outbuilding is located approximately 30 ft southeast of the residence (Figure 115). The structure exhibits the general form of front-gabled mortared-stone smokehouses associated with other German settlement properties in the area. It is a one-story, front-gabled frame structure oriented to the northeast. It is situated on a rubble limestone

foundation beneath a standing-seam metal roof. The rear elevation is clad with horizontal board. It is constructed into the hillside so that the northern and eastern portions of the foundation are visible. The entry located at the center of the front elevation consists of a recessed door set partially within the foundation wall. Two window openings are located above the entry beneath the gable. Another entry is located at the center of the rear elevation. It consists of a hinged vertical-board door.

A cistern is located approximately 54 ft southeast of the residence (Figure 116). It is a circular structure capped by a rectangular stone. The area surrounding the cistern is covered with grass. Two mortared-stone retaining walls create a stepped slope.

The reinforced-concrete slab and steel girder bridge is located approximately 30 ft south of the ROW (Figure 117). It crosses Four Mile Creek and forms a portion of the driveway leading to the residence. The decking is comprised of the reinforced-concrete slab. The slab appears to have been replaced. It is supported by three steel girders. The bridge is situated on mortared-stone abutments that have been reinforced with cast-concrete caps.

**NRHP Evaluation:** Ineligible. Site 96 is one of many mid- to late-nineteenth-century German settlement properties located in the Camp Springs vicinity, approximately 30 of which are included as contributing properties within the NRHP-listed German Settlement, Four Mile Creek Area TR. The farm was settled by German immigrant William Uthe, and several of its buildings, including the residence, summer kitchen, and smokehouse, are to varying degrees indicative of the local German vernacular building tradition. However, as a whole, the property lacks the requisite integrity for listing in the NRHP, hence the exclusion of the farmstead from the NRHP-listed German Settlement, Four Mile Creek Area TR.



Figure 113. Site 96: detail of façade entry on I-house.



Figure 114. Site 96: rear elevation of residence.



Figure 115. Site 96: mortared-stone outbuilding located southeast of residence.



Figure 116. Site 96: cistern and retaining wall located southeast of residence.



Figure 117. Site 96: reinforced-concrete slab and steel girder bridge.

Although the residence exhibits hillside construction and a rubble limestone foundation, it does not display the two- or two-and-one-half-story, double-pile, side-gabled massing typical of the finest examples of German vernacular architecture in the Camp Springs area. Instead, the basic house form appears typical of rural architecture found throughout Kentucky. Additionally, the addition of replacement siding, windows, and doors have compromised the house's integrity of design, materials, and workmanship. The outbuilding has also been significantly altered from its original state.

Concrete girder bridges may be considered significant if they represent an example from the early twentieth century or if they possess engineering or historical significance, such as association with major infrastructure projects or significant and expansive public works programs (Parsons Brinckerhoff 2005: 3-94). The bridge located at Site 96 is a driveway bridge and cannot be traced to the transportation plans of the state

highway department. Additionally, very little historic bridge material remains.

The buildings comprising Site 96 retain their location and setting among the other German settlement properties in the Four Mile Creek Valley but otherwise lack the historical significance and integrity exhibited by neighboring NRHP-listed properties included in the German Settlement, Four Mile Creek Area TR. Although the property is associated with William Uthe, a Prussian immigrant and local entrepreneur, it is neither the most significant nor best preserved site associated with this individual. Site 98, the NRHP-listed Camp Springs house, is more representative of Uthe's significance within the Camp Springs community. Research indicated no association between Site 96 and any other events or persons of historical significance. Consequently, CRA recommends that Site 96 is not eligible for inclusion in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A.

## Site 98

KHC Survey #: CP 71

Photographs: Figures 118–122

Maps: Figures 2b and 3b

Zone: 16

Quad: Withamsville, OH–KY 1996

UTMs: E: 728030 N: 4320845

Property Address: 6361 Four Mile Road

Melbourne, KY 41059

Owner Information: John, Jr., and Carolyn  
Allender

6361 Four Mile Road

Melbourne, KY 41059

Deed Book/Page: 239/393

Construction Date: circa 1860

**Description:** The Camp Springs House (Site 98 [CP 71]) (Figure 118) is an NRHP-listed property located on a 2.76-acre parcel on the east side of Four Mile Road approximately .17 mi southeast of its intersection with Eight Mile Road (see Figures 2b and 3b). Situated on the Four Mile Creek floodplain, the building sits back approximately 10 ft from the ROW along Four Mile Road and is oriented to the west. An asphalt driveway encircles the building, connecting it with Four Mile Road. Four Mile Circle, a residential street with mid-twentieth-century residences located along its north, east, and west sides, circumscribes the property. CRA personnel surveyed Site 98 from the ROW along Four Mile Road and Four Mile Circle.

KHC staff documented the Camp Springs House during the 1979 countywide survey, and it was listed in the NRHP in 1983 as a contributing property within the German Settlement, Four Mile Creek Area TR. The property was included in Ramler's 2010 suggested preservation and design guidelines for the Camp Springs area (Gordon 1982; KHC survey and NRHP files; Ramler 2010:52–53).

Constructed in the early 1860s, the Camp Springs House is depicted as the property of William Uthe in the 1883 county atlas (see Figure 9). Uthe, a Prussian native, developed the property for use as a tavern, inn, and residence. Uthe's son August operated a post office out of the building, and it has since served as a grocery, café, mid-twentieth-century tavern, and bed-and-breakfast (Griffing 1883:45; KHC survey and NRHP files; Ramler 2010:52).

The three-story, five-bay (w/d/w/w/w), double-pile, side-gabled building (Figure 119) comprises approximately 4,500 sq ft of floor space. Its hillside construction, rubble limestone masonry, segmental-arched window bays, and tooled cornerstones are characteristic of the German vernacular building tradition that defines the historical built environment of the Camp Springs area. A single-story, gable-roofed stone ell extends from the southern portion of the rear elevation, and a vaulted cellar accessed via the lower level of the building is located in the hillside to the rear (Ramler 2010:52). The roof of the building is clad in asphalt shingles, and an exterior concrete-block chimney is located on its south gable end.

The Camp Springs house has undergone a number of alterations since it was listed in the NRHP in 1979. A single-story, shed-roofed porch with boxed wood supports now spans the façade, and the primary entry is sheltered within a frame and glass enclosure. Below the porch roof, the façade is clad in cedar board-and-batten siding. A single-story, gable-roofed concrete-block addition projecting from the north gable end of the main block has been enlarged, and a single-story, shed-roofed frame addition spans the rear elevation north of the aforementioned stone ell (Figure 120). Windows feature vinyl one-over-one-light, double-hung replacement sashes with metal grids.



Figure 118. Site 98 (CP 71): Camp Springs House.



Figure 119. Site 98: façade and south elevations of Camp Springs House.



Figure 120. Site 98: north and rear elevations of Camp Springs House.

Three outbuildings (Figure 121) are associated with Site 98. Located approximately 25 ft east of the Camp Springs House is a front-gabled stone garage. KHC records indicate that the garage was once a smokehouse; however, its form and massing are not consistent with those of other stone smokehouses in the Camp Springs area. Appended to its east elevation is a dilapidated gable-roofed frame garage clad in corrugated siding. Both garages feature doorless vehicular bays on their north gable ends and asphalt-shingle roofs. A gable-roofed frame and concrete-block picnic shelter located approximately 45 ft east-southeast of the main primary building was constructed sometime after the property was surveyed by KHC personnel in 1979 (KHC survey and NRHP files).

Three stone retaining wall remnants (Figure 122) were observed along the perimeter of the property. All three are of dry-laid, horizontally-coursed construction and are highly fragmented.

**NRHP Evaluation:** Listed. The Camp Springs House (Site 98) was listed in the NRHP in 1983 as one of approximately 30 properties included in the German Settlement, Four Mile Creek Area TR. The NRHP boundary for the property is depicted in Figure 123 and includes both the Camp Springs House and the associated stone garage.

Alterations to the building since its listing include the expansion of the existing northerly concrete-block addition, construction of the rear addition and façade porch, application of board-and-batten siding to the lower portion of the façade, and installation of vinyl replacement window sashes. While similar modifications to a building of more general historical significance might compromise its integrity, in the case of the Camp Springs House—a mid-nineteenth-century German vernacular tavern and inn associated with a rural ethnic enclave situated within an otherwise Anglo-American cultural landscape—these changes must be considered within a more specific context.



Figure 121. Site 98: outbuildings located east and east-southeast of Camp Springs House.



Figure 122. Site 98: one of three stone retaining wall fragments associated with the property.



Figure 123. Site 98: aerial photograph depicting NRHP boundary in relation to APE.

The aforementioned modifications to the Camp Springs House have not affected the aspects of its integrity that denote its association with mid-nineteenth-century German settlement in the Four Mile Creek area, specifically its location on Four Mile Road, the settlement's principal thoroughfare; its setting within the Four Mile Creek Valley in proximity to more than two dozen concurrent German settlement properties; the attributes of its construction that are demonstrative of its association with the local German vernacular building tradition, including its form and massing, hillside construction, rubble limestone masonry, segmental-arched window bays, tooled cornerstones, and vaulted cellar; and its association with Prussian immigrant and local entrepreneur William Uthe.

**Determination of Effect:** No Adverse Effect. The proposed force main is to be located across the road and across the creek from this site. It will come within approximately 125 ft of the Camp Springs House (Site 98) at its closest point (see Figure 123) and will have no direct effects on this NRHP-listed property. The nearest air release valve associated with the force main is to be located .32 mi northwest of Site 98 at Site 95.

Potential indirect effects to be considered with regard to Site 98 include construction noise, mortar-joint damage, and force main system failure. These potential effects have been addressed by SD1 in the project design, as summarized in Section II of this report and outlined in Appendix A. With regard to mortar-joint damage specifically, the route of the proposed force main has been designed to avoid Site 98, and no blasting will be conducted within 200 linear ft of the historic structures associated with the property, thereby minimizing the potential for mortar-joint damage. If permission is granted by the property owner, pre-blast inspections and seismographic monitoring will be conducted in conjunction with construction activities. Such monitoring will be conducted by a pre-approved consultant specializing in blasting and construction vibrations. If potentially-damaging seismic levels resulting from project-related construction are detected, or if damage to NRHP-listed resources is noted, blasting will cease immediately, and the KHC will be notified and engaged in consultation to address said

issues. Thus, assuming that the steps outlined are implemented to minimize effects to this historic property, CRA recommends a No Adverse Effect determination for Site 98.

## Site 100

**KHC Survey #:** CP 301

**Photographs:** Figure 124

**Map:** Figures 2b and 3b

**Zone:** 16

**Quad:** Withamsville, OH-KY 1996

**UTMs:** E: 727993 N: 4320624

**Property Address:** undetermined

**Owner Information:** undetermined

**Deed Book/Page:** undetermined

**Construction Date:** unknown

**Description:** Site 100 (CP 301) consists of a segment of dry-laid stone fence situated in a stand of trees on the west side of Four Mile Road between its intersections with Eight Mile Road and Nine Mile Road (see Figures 2b and 3b). The fence (Figure 124) sits back approximately 150 ft from the ROW and is not associated with any other standing structures. CRA was unable to obtain permission to access the property, so the fence was surveyed from the public ROW.

The stone fence may be associated with the property of Wg. Sh. identified on the 1883 map of the Alexandria Precinct (see Figure 9). Due to the lack of extant buildings and other evidence, this association could not be confirmed, and the actual date of construction of the fence is unknown (Griffing 1883:45).

The dry-laid stone fence is constructed of surface limestone like that employed for the foundations of several of the early German buildings identified in the project APE. The fence is sagging and collapsing in areas, obscuring its original coursing. It does not appear to feature the distinctive coping or other features typical of stone fencing in the Bluegrass region. Extending from the east end of the fence is a berm measuring approximately 3 ft high, 10 inches wide, and 25 ft long.



Figure 124. Site 100 (CP 301): overview of Site 100. Note the fence line visible within the stand of trees.

**NRHP Evaluation:** Ineligible. Site 100 is a common example of stone fencing that lacks distinctive design features and does not exhibit the exceptional workmanship associated with significant examples of the type in central Kentucky. The stone fence is surrounded by overgrown vegetation, is in deteriorated condition, and is unassociated with any other extant historic resources; thus, it lacks integrity of setting, design, workmanship, and association. Archival research indicated no association between Site 100 and events or persons of historical significance. Therefore, CRA recommends that Site 100 is not eligible for listing in the NRHP under Criterion A, B, or C.

**Determination of Effect:** N/A

## Site 101

**KHC Survey #:** CP 302

**Photographs:** Figures 125–131

**Map:** Figures 2b and 3b

**Zone:** 16

**Quad:** Withamsville, OH–KY 1996

**UTMs:** E: 728094 N: 4320609

**Property Address:** 6435 Four Mile Road

Melbourne, KY 41059

**Owner Information:** Joseph J., Jr., and  
Victorian Heeb

6435 Four Mile Road

Melbourne, KY 41059

**Deed Book/Page:** 104/247

**Construction Date:** circa 1850–1874

**Description:** Site 101 (CP 302) is a nineteenth-century farmstead (Figure 125) located on a 28.58-acre parcel on the east side of Four Mile Road approximately .21 mi north-northwest of the road's intersection with Nine Mile Road (see Figures 2b and 3b). The farm complex is situated low on the westerly slope of a ridge spur just above the Four Mile Creek floodplain and is delineated from the pasture areas to its north and east by post-and-wire fencing. The residence sits back approximately 60 ft from the road and is oriented to the west. A gravel drive connects the property with Four Mile Road.



Figure 125. Site 101 (CP 302): nineteenth-century farmstead.

The A. Futscher residence is depicted in the vicinity of Site 101 in the 1883 county atlas (see Figure 9). Census records indicate that Austrian immigrants Alois and Eva Futscher, their four children, and two boarders were residing in the Eight Mile precinct of Campbell County in 1870. Alois Futscher was a blacksmith. The Futschers' two oldest children, Josephine and Andrew, were born in Ohio, suggesting that the Futschers, like many other German families that immigrated to the region in the mid-nineteenth century, may have first settled in the Cincinnati area before relocating to the Four Mile Creek area. According to PVA records, the house was built circa 1851 (Griffing 1883:45; USBC 1870).

The two-story, five-bay (w/w/d/w/w), double-pile, side-gabled frame residence (Figure 126) comprises approximately 1,872 sq ft of living space. It is clad in vinyl replacement siding and exhibits a metal-shingle roof. PVA records indicate that the foundation, which was not visible, is of masonry construction. A single-story, gable-roofed frame ell projects from the

southernmost portion of the rear elevation (Figure 127).

A single-story, hip-roofed porch with replacement turned wood supports and a poured-concrete deck shelters the central three façade bays. The single-leaf façade entry features a replacement door and a two-light wood transom. Spanning the north elevation of the rear ell is an enclosed shed-roofed frame porch. Secondary entries on the rear elevations of the main block and the enclosed porch have half-light wood-panel doors. Projecting from the north elevation is a gable-roofed frame vestibule that shelters a basement entry. All four entries have metal storm doors. Most of the dwelling's windows feature one-over-one-light, double-hung replacement sashes, and those located on the façade and north and west gable ends are flanked by decorative louvered shutters. Lower-level picture windows with fixed single-light sashes have been installed on the north elevation of the enclosed rear porch and on the rear elevation of the main block. An exterior brick chimney is centrally located on the south gable end, and an interior brick end chimney projects from the roof ridge of the rear ell.



Figure 126. Site 101: two-story, five-bay, double-pile, side-gabled frame residence.



Figure 127. Site 101: north and rear elevations of residence.

Located approximately 60 ft north of the residence is a side-gabled frame outbuilding (Figure 128). It is clad in vinyl replacement siding beneath a metal-panel roof. On its east elevation is a single-leaf entry with an unglazed wood-panel door. Windows on all four of its elevations have single-light wood sashes.

A timber-frame bank barn (Figure 129) is located approximately 55 ft north of the residence and immediately east of the aforementioned outbuilding. It features a pegged mortise-and-tenon frame clad in vertical-board siding beneath a standing-seam metal roof. The western portion of the barn rests on a raised mortared-stone foundation, and its central and eastern portions are supported by a continuous poured-concrete foundation. A single-leaf pedestrian entry with a vertical-board door is located on the south elevation of the stone foundation near the west gable end. A double-leaf vehicular bay with suspended sliding vertical-board doors is centrally located on the barn's south elevation, and to its right, on what appears to be an easterly extension of the barn's main block, is a garage bay with a segmented overhead door.

A cantilevered shed roof shelters the garage bay. Metal-clad equipment sheds project from the barn's north and east elevations.

Approximately 40 ft east of the residence is a gable-roofed frame granary (Figure 130). It is clad in vertical-board siding beneath a corrugated-metal-panel roof and rests on a series of ceramic or cast-concrete pipe segments. An offset single-leaf pedestrian entry located on its north gable end features a vertical-board door, as do loading bays on its west elevation. A pair of square vents have been cut into the siding beneath the south gable.

Immediately east of the granary is a frame shed clad in vertical-board siding beneath a metal-panel roof (see Figure 130). A single-leaf pedestrian entry with a vertical-board door is located on its south elevation.

A second frame shed (Figure 131) is located approximately 80 ft southeast of the residence. Its exterior walls and roof are covered in metal panels, and a vehicular bay on its south elevation features hinged corrugated-metal-panel doors.



Figure 128. Site 101: side-gabled frame outbuilding located north of residence.



Figure 129. Site 101: timber-frame bank barn located north of residence.



Figure 130. Site 101: granary, frame shed, and pole barn located east of residence.



Figure 131. Site 101: frame shed and pole barn located southeast and east-southeast of residence, respectively.

Two gable-roofed pole barns (see Figures 130 and 131) are also associated with the property. Both appear to be of late-twentieth-century construction.

**NRHP Evaluation:** Ineligible. Site 101 is one of many mid- to late-nineteenth-century German settlement properties located in the Camp Springs vicinity, approximately 30 of which are included as contributing properties within the NRHP-listed German Settlement, Four Mile Creek Area TR. However, of the buildings associated with Site 101, only the bank barn is indicative of the local German vernacular building tradition. Both the barn and the farmstead as a whole lack the requisite integrity for listing in the NRHP, hence the exclusion of Site 101 from the NRHP-listed German Settlement, Four Mile Creek Area TR.

The farmhouse associated with Site 101 is an unremarkable example of a rural mid- to late-nineteenth-century frame dwelling and is not representative of German vernacular residences in the Four Mile Creek area, which are typically two-story, double-pile, side-

gabled buildings of rubble limestone construction. It is not an outstanding example of a particular type, period, or method of construction, and extensive modifications, including alterations to the façade porch, enclosure of the rear porch, changes to the fenestration of the rear elevation, application of replacement siding, and installation of replacement façade door and window sashes, have compromised its historical integrity of design, materials, and workmanship.

While the bank barn is certainly of German vernacular construction, its overall form is somewhat of a deviation from that of other such barns in the area. Rather than having two vertically-separated levels accessed via vehicular and pedestrian entries on adjacent elevations, this barn features what appears to be a sunken western end, which is accessed through a pedestrian entry located to the left of the vehicular bay on the south elevation. Multiple additions to the easternmost portion of the barn have compromised its integrity of design, materials, and workmanship. The remaining outbuildings associated with Site 101 are typical examples

of well-documented building forms that lack architectural significance.

The buildings comprising Site 101 retain their location and setting among the other German settlement properties in the Four Mile Creek Valley but otherwise lack the historical significance and integrity exhibited by neighboring NRHP-listed properties included in the German Settlement, Four Mile Creek Area TR. Furthermore, archival research indicated no association between the property and other events or persons of historical significance, including the Futscher family. None of the buildings associated with the farmstead is an outstanding example of a particular architectural type, period, or method. As a result, CRA recommends that Site 101 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A.

## Site 103

KHC Survey #: CP 304

Photographs: Figure 132

Map: Figures 2b and 3b

Zone: 16

Quad: Withamsville, OH-KY 1983 (Revised 1992)

UTMs: E: 728129 N: 4320527

Property Address: 6481 Four Mile Rd.

Melbourne, KY 41059

Owner Information: Carol Futscher

6481 Four Mile Rd.

Melbourne, KY 41059

Deed Book/Page: 276/869

Construction Date: 1925

**Description:** Site 103 consists of a residence located at 6481 Four Mile Road approximately .14 mi northwest of its intersection with Nine Mile Road. It is situated on a grassy lot atop a hill on an approximately .43-acre lot. A fence comprised of chicken wire forms the northern property boundary. A concrete driveway leads

from the road to the rear of the residence. Site 103 is first depicted on the 1953 Withamsville, OH-KY topographic quadrangle.

The residence is a one-story, three-bay (w/d/w), front-gabled frame house oriented to the southwest (Figure 132). It is situated on a pressed-concrete-block foundation beneath an asphalt-shingle roof. It is clad with vinyl siding. The residence comprises approximately 952 sq ft of living space.

The slightly off-center façade entry consists of a wood paneled door that opens onto a full-width wood porch. The hipped porch roof is supported by fluted columns. A railing runs the perimeter of the porch. Cast-concrete steps lead up to the porch at its center. The area beneath the porch is fronted by wood latticework. Windows consist of one-over-one, double-hung vinyl sashes flanked by louvered shutters. An interior brick chimney extends from the roof peak at the center of the roof.

Another entry is located at the eastern corner of the southeast (side) elevation. It consists of a multi-light wood paneled door set behind a storm door. It opens onto a single-bay porch. The hip-roof porch is supported by fluted columns.

**NRHP Evaluation:** Ineligible. The residence located at Site 103 is an undistinguished building form that lacks the architectural significance or integrity necessary to warrant NRHP eligibility under Criterion C. It is not of a specific style or significant design, nor does it appear to represent a significant or early construction method. The addition of replacement siding and windows has compromised the residence's integrity of design, materials, and workmanship. Furthermore, research indicated no association between Site 103 and events or persons of historical significance. Therefore, CRA recommends that Site 103 is not eligible for inclusion in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A.



Figure 132. Site 103 (CP 304): northeasterly view of residence.

## Site 104

KHC Survey #: CP 305

Photographs: Figures 133–141

Map: Figures 2b and 3b

Zone: 16

Quad: Withamsville, OH–KY 1996

UTMs: E: 727906 N: 4320372

Property Address: 6486 Four Mile Road

Melbourne, KY 41059

Owner Information: Michael and Myra Harris

6486 Four Mile Road

Melbourne, KY 41059

Deed Book/Page: 298/213

Construction Date: circa 1850–1874

**Description:** Site 104 (CP 305) is a nineteenth-century farmstead (Figure 133) located on a 24.01-acre parcel on the west side of Four Mile Road approximately .13 mi north-northwest of the road's intersection with Nine

Mile Road (see Figures 2b and 3b). The farm complex sits approximately .15 mi west of Four Mile Road and is situated at the eastern base of a ridge spur just west of Four Mile Creek. A long gravel drive connects the group of buildings with Four Mile Road.

Although the PVA records date the residence to 1900, the Wm. Amburger property is depicted in the vicinity of Site 104 in the 1883 county atlas (see Figure 9). Census records indicate William Amburger, a farmer, and his family were living in the Hayfield precinct of Campbell County in 1900. Amburger could not be identified in earlier census records. Amberger was born in 1841 in Ohio to German parents, suggesting that the Amburgers, like many other German families that immigrated to the region in the mid-nineteenth century, may have first settled in the Cincinnati area before relocating to the Four Mile Creek area (USBC 1900). William Amburger and several of his relatives are buried in the St. Joseph's Roman Catholic Church cemetery in Camp Springs (Jensen and Moore 2012).

The one-and-one-half-story, three-bay (w/d/w), single-pile, side-gable frame residence features a shed-roof extension, possibly an addition, spanning its rear elevation (Figures 134 and 135). It is clad in vinyl replacement siding and rests on a continuous stone foundation beneath an asphalt-shingle roof.

The façade features a full-width, hip-roof porch sheltering the central front entrance. The porch roof is supported by simple square wooden posts spanned by a simple balustrade, and the wooden porch deck is supported by concrete piers spanned by lattice. The entrance contains a single-light, wood-panel door with a metal storm door and a simple transom. The windows flanking the entrance contain one-over-one-light, double-hung replacement vinyl sashes, as do the small windows into the upper half story. The central cross gable features a full-height window with two-over-two-light, double-hung wood sashes. The side elevations exhibit similar replacement windows. A modern wood deck extends from the back of the south elevation, and the north elevation features two exterior concrete-block chimneys.

The rear of the building is spanned by a shed-roof porch supported by wood posts and sheltering a single-leaf entrance flanked by single windows.

A front-gable, frame garage (Resource A) sits approximately 30 ft west of the residence (Figure 136). Oriented to the south, the building rests on a dry-laid stone foundation, is clad in vinyl siding and particle board, and is covered with an asphalt-shingle roof. The south elevation features a large segmented overhead garage door, and the east elevation exhibits two two-light wood windows. The north elevation reveals vertical-board siding suggestive of the building's original appearance (Figure 137).

A square, mortared rubble-stone smokehouse (Resource B) sits immediately north of the garage (see Figures 136 and 137). Built into a hillside, it exhibits the simple square form typical of other smokehouses observed in the Camp Springs area. The south elevation features an entrance with a wood-panel door. The original roofing material has been replaced with asphalt shingles like those seen on the house and garage.



Figure 133. Site 104 (CP 305): overview of property from Four Mile Creek, facing west.



Figure 134. Site 104: façade and south elevation of residence.



Figure 135. Site 104: rear and south elevations of residence.



Figure 136. Site 104: overview of garage (Resource A), smokehouse (Resource B), and new barn to the west of the residence, facing northwest.



Figure 137. Site 104: north and east elevations of the smokehouse (Resource B) and garage (Resource A).

A concrete-block well cover and a small segment of dry-laid stone retaining wall sit between the garage and the house (see Figure 136). Other discrete segments of retaining wall exhibiting the same method of construction are found throughout the property. A recently constructed, wood-clad pole barn is located north of the garage. Apparently constructed within the last year, the barn does not appear on 2011 aerial photographs of the property.

A bank barn (Resource C) sits approximately 100 ft west-southwest of the residence (Figures 138 and 139). Oriented to the north, the barn exhibits features such as hillside construction, mortise and tenon joinery, and a rubble limestone foundation typical of the other German influenced bank barns observed in the Camp Springs area. The building is clad in vertical-board siding and is covered by a standing-seam metal roof. The north elevation features two entrances covered with suspended, sliding vertical-board doors. The lower level of the building is fully exposed on the east elevation, revealing a single-leaf pedestrian entrance covered with a storm door, a small window containing a four-light window, and a large opening that has been fitted with a modern, segmented, metal, overhead garage door. The partially exposed foundation level of the south elevation exhibits two window openings filled with plywood. A large metal-clad equipment and hay storage shed has been constructed on the west elevation.

A dry-laid stone retaining wall has been constructed to support the banks of a small drainage running to the south of the barn. A small, frame, shed-roof building (Resource D) sits to the east of the barn on the edge of the creek embankment. The shed is clad in vertical-board siding beneath a standing-seam metal roof with exposed rafter tails. A wood-panel door provides access to the north elevation, and a small window with replacement one-over-one-light sashes pierces the east elevation (see Figure 139). A second shed-roof building (Resource E) sits well to the west of the barn. Clad in plywood beneath a corrugated metal roof, the building is in badly deteriorated condition (Figure 140).

Approximately 230 ft east of the house and approximately 535 ft southwest of Four Mile Road, a bridge (Resource F) provides access to the property over Four Mile Creek. The bridge appears to be a replacement structure constructed on top of original mortared-stone abutments. The bridge features a light Warren deck truss structure supporting a concrete deck protected by riveted metal-panel side rails (Figure 141). The bridge sits on concrete piers constructed on top of the creek banks and supported by the original stone abutments. Also accessed by way of the property's bridge and long driveway, a recently constructed residence is located to the south of Site 104 on a subdivided parcel.

**NRHP Evaluation:** Ineligible. Site 104 is one of many mid- to late-nineteenth-century German settlement properties located in the Camp Springs vicinity, approximately 30 of which are included as contributing properties within the NRHP-listed German Settlement, Four Mile Creek Area TR. The farm was settled by a first generation German-American family, and several of its buildings, including the stone smokehouse and the bank barn, are to varying degrees indicative of the local German vernacular building tradition. The form of the residence, however, is typical of Kentucky's vernacular building tradition rather than that of the German settlers, and as a whole, the property lacks the requisite integrity for listing in the NRHP, hence the exclusion of the farmstead from the NRHP-listed German Settlement, Four Mile Creek Area TR.

The farmhouse associated with Site 104 is an unremarkable example of a rural mid- to late-nineteenth-century frame dwelling and is not indicative of German vernacular residences in the Four Mile Creek area, which are typically two-story, double-pile, side-gabled buildings of rubble limestone construction. The application of vinyl siding and replacement windows has compromised its historical integrity of materials and workmanship. Also, the porch does not appear to be original to the structure, and the rear shed-roof portion of the building may be an addition, further compromising the residence's integrity of design.



Figure 138. Site 104: north and west elevations of the bank barn (Resource C).



Figure 139. Site 104: south and east elevations of the bank barn (Resource C) and small shed (Resource D).



Figure 140. Site 104: north and east elevations of the second small shed (Resource E).



Figure 141. Site 104: southern elevation of the driveway bridge (Resource F) over Four Mile Creek.

Likewise, the outbuildings associated with Site 104 have experienced alterations that have compromised their integrity. Although the bank barn is characteristic in form and construction of German vernacular barns associated with mid- to late-nineteenth-century farmsteads throughout the area, the barn has been significantly altered by the addition of a large metal-clad shed to its west elevation and the introduction of a modern garage door to its east elevation. Although the application of an asphalt-shingle roof to the property's stone smokehouse is a relatively minor alteration, the survey recorded several other similar stone smokehouses associated with many of the German settlement properties in the Four Mile Creek Valley, including several NRHP-listed properties included in the German Settlement, Four Mile Creek Area TR, and this particular smokehouse does not stand out as an individually noteworthy example of the type. The garage, which may have originally served a different function, exhibits a stone foundation and vertical-board siding on one elevation, but the other sides of the building have been wrapped in modern materials, obscuring its original appearance. The other small outbuildings associated with the property are unexceptional examples of common building types that do not contribute to the property's significance.

The bridge associated with the property does not date to the potential period of significance of the farmstead and is not an outstanding example of a Warren deck truss bridge, a form widely utilized by state highway departments throughout much of the twentieth century. Constructed to provide access to this farmstead, the bridge is not an early or important example of this bridge type, nor is it an example of the standardized plans of the state highway department; thus, it does not merit consideration for individual listing in the NRHP under Criterion C (Parsons Brinckerhoff 2005: 3-39).

The buildings comprising Site 104 retain their location and setting among the other German settlement properties in the Four Mile Creek Valley but otherwise lack the historical significance and integrity exhibited by neighboring NRHP-listed properties included in the German Settlement, Four Mile Creek Area

TR. Furthermore, archival research revealed no information to suggest that the Amberger family was particularly significant within the founding and growth of Camp Springs, nor did it indicate any other association between the property and other events or persons of historical significance. None of the buildings associated with the farmstead is an outstanding example of a particular architectural type, period, or method. Therefore, CRA recommends that Site 104 is not eligible for listing in the NRHP under Criterion A, B, or C.

Determination of Effect: N/A.

## Site 106

KHC Survey #: CP 307

Photographs: Figures 142–144

Map: Figures 2b and 3b

Zone: 16

Quad: Withamsville, OH-KY 1983 (Revised 1992)

UTMs: E: 728153 N: 4320468

Property Address: 6493 Four Mile Rd.

Melbourne, KY 41059

Owner Information: James and Virginia

Spencer

6493 Four Mile Rd.

Melbourne, KY 41059

Deed Book/Page: 186/43

Construction Date: 1954

**Description:** Site 106 consists of a residence and outbuilding located at 6493 Four Mile Road approximately .1 mi northwest of its intersection with Nine Mile Road. The structure is situated on a grassy, approximately .5-acre lot that rises to the northeast from the road. Scattered trees are located northeast of the residence. A poured-concrete parking area is located along the road and extends to the garage. It is bounded by a mortared-stone retaining wall. Site 106 is first depicted on the 1961 Withamsville, OH-KY topographic quadrangle.